

PROJECT DIRECTORY

DEVELOPER:

KSA INVESTMENTS

16559 COUNTRY CLUB DRIVE
BURLINGTON WA 98233
360-708-9255 E-MAIL: Brandon.Kate.Atkinson@gmail.com

ARCHITECT:

CHARLES MORGAN & ASSOCIATES

7301 BEVERLY LANE
EVERETT, WA 98203
OFFICE: 425-353-2888
CONTACT: CHARLIE MORGAN, JR. E-MAIL: charliejr@cmaarch.com

STRUCTURAL ENGINEER:

CG ENGINEERING

250 FOURTH AVENUE SOUTH, SUITE 200
EDMONDS, WA 98020
425-778-8500

CIVIL ENGINEER:

SDG DEVELOPMENT GROUP

111 CLEVELAND STREET SUITE 202
MOUNT VERNON WA 98273
OFFICE: 360-404-2010 E-MAIL: pat@sdg-llc.com

LANDSCAPE ARCHITECT:

ECCOS DESIGN LLC

505 SOUTH FIRST STREET, SUITE B
MOUNT VERNON WA 98273
OFFICE: 360-419-7400
CONTACT: PATRIK DYLAN E-MAIL: eccosdesign@gmail.com

PROJECT INFORMATION

PROJECT NAME: THE TALMON

SITE ADDRESS: 306 CENTER STREET
LA CONNER WA 98257

PARCEL NO.: P74143

LOT AREA: 15,296 SQ/FT .35 ACRE

ZONING: COMMERCIAL

OCCUPANCY: R-1 & R-2

TYPE CONSTRUCTION: 3 STORIES TYPE V-A

SPRINKLERED: NFPA-13

MAX BUILDING HEIGHT 30' ABOVE @ 1 FOOT ABOVE FLOOD PLAIN

DEFERRED SUBMITTALS:
MECHANICAL, ELECTRICAL, PLUMBING, WSEC, ROOF TRUSSES

SEPARATE SUBMITTALS:
SPRINKLER SYSTEM, FIRE ALARM, FIRE DEPARTMENT ACCESS PLAN,
SIGNAGE

APPLICABLE CODES & REFERENCES
2018 INTERNATIONAL BUILDING CODE (IBC) & WAC 51-50
2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES

2018 INTERNATIONAL FIRE CODE (IFC) & WAC 51-54

2018 INTERNATIONAL MECHANICAL CODE (IMC) & WAC 51-52

2020 NATIONAL ELECTRICAL CODE (NEC) & WAC 296-46B

2018 UNIFORM PLUMBING CODE (UPC) & WAC 51-5 & 51-57

2018 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11C & 51-11R

CITY OF LA CONNER DESIGN & CONSTRUCTION STANDARDS & SPECIFICATIONS

CITY OF LA CONNER STORM WATER MANAGEMENT MANUAL

CITY OF LA CONNER MUNICIPAL CODE, TITLE 15 ZONING

A MUTUAL AGREEMENT HAS BEEN PLACED WITH THE FIRE CHIEF.

DURING CONSTRUCTION THE FIRE CHIEF WILL DO A SITE VISIT TO CONFIRM THAT THE LADDER CAN HOOK TO THE DECK AWNING TO GAIN ROOF ACCESS. IF THE LADDER CANNOT HOOK TO THE DECK AWNING TO GAIN ACCESS A 10' LADDER WILL BE INSTALLED FROM THE TOP OF PARAPET WALL COMING DOWN AT THE NORTHWEST CORNER ABOVE THE EXIT DOOR.

SPECIAL HEIGHT INSPECTION.

THE OWNERS SHALL SUBMIT A SPECIAL HEIGHT INSPECTION. THE SPECIAL INSPECTION SHALL BE PERFORMED BY A SURVEYOR, AND SHALL SHOW THE ELEVATION OF THE HIGHEST PORTION OF THE BUILDING, EITHER PARAPET OR ELEVATOR. THIS CAN BE SUBMITTED ANY TIME AFTER THE BUILDING HAS BEEN FULLY FRAMED.

ALLOWABLE USES PER 15.35.020

1ST FLOOR 15.35.020 (10) LODGING ESTABLISHMENT & 15.35.030 (2) DWELLING UNITS
2ND FLOOR 15.35.030 (2) DWELLING UNITS
3RD FLOOR 15.35.030 (2) DWELLING UNITS

MAX FLOOR AREA (NO MORE THAN 2X THE LOT AREA)

LOT AREA 15,296 SQ/FT
MAXIMUM FLOOR AREA 30,592 SQ/FT
1ST FLOOR - FLOOR AREA 9,491 SQFT
2ND FLOOR - FLOOR AREA 9,317 SQFT
3RD FLOOR - FLOOR AREA 9,317 SQFT
TOTAL BUILDING AREA 28,125 SQFT

MAX LOT COVERAGE (80% OF LOT)

LOT AREA 15,296 SQ/FT
MAXIMUM LOT COVERAGE 12,232 SQFT
LOT COVERAGE PROVIDED 12,010 SQFT

LANDSCAPING AREA (MIN 20% OF LOT)

LOT AREA 15,296 SQ/FT
MINIMUM LANDSCAPE AREA 3,058 SQFT
LANDSCAPE AREA PROVIDED 3,082 SQFT

PARKING PROVIDED - ONSITE

FULL SIZE STALLS 10
COMPACT STALLS 12
ADA STALLS (INCL. 1 VAN) 2
TOTAL 24

PARKING REQUIRED - ONSITE

6 LODGING UNITS 6
14 DWELLING UNITS (>1,200SQ/FT) 14
TOTAL REQUIRED STALLS 20

SETBACKS

CENTER ST. 5'
NORTH 4TH ST. 5'
WEST SIDE YARD 5'
SOUTH SIDE YARD 5'

IBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT

R OCCUPANCY TYPE V-A 70'
S OCCUPANCY TYPE V-A 70'

IBC TABLE 504.6 ALLOWABLE NO. OF STORIES ABOVE GRADE PLANE

R-1 & R-2 TYPE V-A 4 STORIES
S-2 TYPE V-A 5 STORIES

IBC TABLE 506.2 ALLOWABLE AREA WITH SPRINKLER (NFPA 13) TYPE V-A

R-1 & R-2 TYPE V-A 36,000 SQFT
S-2 TYPE V-A 63,000 SQFT

IBC 506.2.3 ALLOWABLE BUILDING AREA

R-2
Aa 12,600 /34,000
At 36,000
NS 12,000
If 0.5
Sa 3
FORMULA: 126,000 TOTAL ALLOWABLE BUILDING AREA

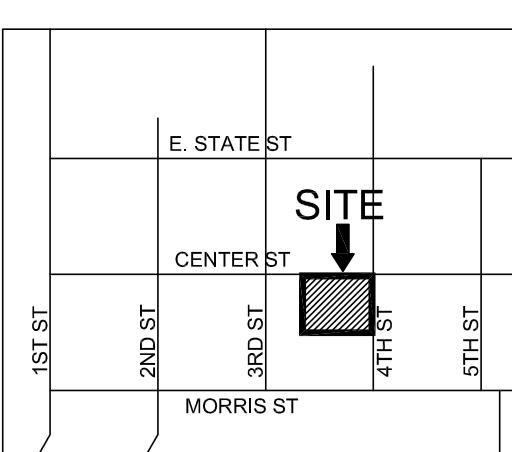
THE TALMON

6 AIR B&B UNITS & 14 APARTMENTS

LA CONNER



NORTH ELEVATION - MAIN ENTRY RESIDENTIAL



VICINITY SKETCH
NOT TO SCALE

LEGAL DESCRIPTION

TITLE ELIMINATION INCL M/H 1994 SKYLINE
40X28 VIN NO. 069107446: THE EAST 3 FEET
OF LOT 2 AND ALL OF LOTS 3, 6, AND 7 BLOCK
9, CALHOUN'S ADDITION TO THE TOWN OF LA
CONNER, AS PER PLAT RECORDED IN VOLUME 1
OF PLATS, PAGE 14, RECORDS OF SKAGIT
COUNTY, WASHINGTON. SURVEY
AF#200904210003

STRUCTURAL

S1.1 STRUCTURAL NOTES
S1.2 STRUCTURAL NOTES
S2.1 FOUNDATION PLAN
S2.2 SECOND FLOOR FRAMING PLAN
S2.3 THIRD FLOOR FRAMING PLAN
S2.4 ROOF FLOOR FRAMING PLAN
S3.1 STRUCTURAL NOTES
S4.1 FOUNDATION DETAILS
S4.2 FOUNDATION DETAILS
S5.1 WOOD FRAMING DETAILS
S5.2 WOOD FRAMING DETAILS
S5.3 WOOD FRAMING DETAILS
S5.4 WOOD FRAMING DETAILS
S6.1 ROOF FRAMING DETAILS
S6.2 ROOF FRAMING DETAILS
S7.1 STEEL FRAMING DETAILS
S7.2 STEEL FRAMING DETAILS

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C1.0 COVER SHEET
C1.1 EXISTING CONDITIONS, DEMOLITION & TESC PLAN
C1.2 TESC PLAN NOTES & DETAILS
C2.0 GRADING AND DIMENSIONAL PLAN
C2.1 UTILITY PLAN
C2.2 CENTER STREET ROADWAY IMPROVEMENTS - PLAN & PROFILE
C2.3 FOURTH STREET ROADWAY IMPROVEMENTS - PLAN & PROFILE
C3.0 SITE & SEWER DETAILS
C3.1 SEWER & WATER DETAILS
C3.2 WATER, WSDOT STANDARD PLANS & SEDIMENT TRAP DETAIL
C3.3 WSDOT STANDARD PLANS & SEDIMENT TRAP DETAIL
C4.0 STANDARD SPECIFICATIONS & STORMFILTER DETAIL

LANDSCAPE

L-1 PLANTING PLAN

HVAC PLANS

A2.1 STUDIO "B&B-1", "B&B-2", "B&B-3" TYPICAL HVAC PLAN
A2.2 1 BR "A" & "B" TYPICAL UNIT HVAC PLAN
A2.3 2 BR "A" & "B" TYPICAL UNIT HVAC PLAN
A2.4 2 BR "B2" TYPICAL HVAC PLAN
A3.1 1ST FLOOR HVAC PLAN
A3.2 2ND FLOOR HVAC PLAN
A3.3 3RD FLOOR HVAC PLAN
A3.4 ROOF HVAC PLAN

ONE LINE

ONE LINE DIAGRAM

LIGHTING PLANS

A2.1 STUDIO "B&B-1", "B&B-2", "B&B-3" TYPICAL LIGHTING PLAN
A2.2 1 BR "A" & "B" TYPICAL UNIT LIGHTING PLAN
A2.3 2 BR "A" & "B" TYPICAL UNIT LIGHTING PLAN
A2.4 2 BR "B2" TYPICAL LIGHTING PLAN
A3.1 1ST FLOOR LIGHTING PLAN
A3.2 2ND FLOOR LIGHTING PLAN
A3.3 3RD FLOOR LIGHTING PLAN
A4.1 ELEVATIONS LIGHTING

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P2 WATER PIPING
P3 WATER PIPING
P4 MECHANICAL WASTE PIPING RISERS

DRAWING INDEX

ARCHITECTURAL

A0.1 LIST OF DRAWING, APPLICABLE CODE, BLDG STATS, VICTINITY MAP, LEGAL DESCRIPTION
A0.2 GENERAL NOTES
A0.3 BARRIER FREE REQUIREMENTS
A0.4 BARRIER FREE NOTES
A0.5 ADA GUIDELINES & DIAGRAMS
A0.6 WINDOW & DOOR SCHEDULES
A0.7 WINDOW & DOOR ELEVATIONS
A0.8 ROOM FINISHES

SITE PLAN

A1.1 SITE PLAN

TYPICAL UNITS

A2.1 TYPICAL UNIT - STUDIO "B&B-1", "B&B-2", "B&B-3"
A2.2 TYPICAL UNIT - 1 BEDROOM "A" & "B"
A2.3 TYPICAL UNIT - 2 BEDROOM "A" & "B1"
A2.4 TYPICAL UNIT - 2 BEDROOM "B2"

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A3.1 1ST FLOOR PLAN
A3.2 2ND FLOOR PLAN
A3.3 3RD FLOOR PLAN
A3.4 ROOF PLAN

LIFE SAFETY FLOOR PLANS

A3.1.1 1ST FLOOR PLAN
A3.2.1 2ND FLOOR PLAN
A3.3.1 3RD FLOOR PLAN

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A4.1 ELEVATIONS

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A5.1 SECTION 'A'
A5.2 SECTION 'B'
A5.3 SECTION 'C'
A5.4 SECTION 'D'
A5.5 SECTION 'E'
A5.6 SECTION 'F'
A5.7 SECTION 'G'
A5.8 SECTION 'H'
A5.9 SECTION 'J-J'
A5.10 SECTION 'K-K'
A5.11 SECTION 'L-L'

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A6.1 INTERIOR ELEVATIONS
A6.2 INTERIOR ELEVATIONS

STAIR PLANS

A7.1 STAIR ENCLOSURE PLANS

DETAILS

D1.1 DETAILS
D1.2 DETAILS
D1.3 DETAILS

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RA1.1 DETAILS

RATED PENETRATION ASSEMBLIES

RP1.1 DETAILS

BUILDING DATA							
BLDG	UNITS	SLEEPING/ CIRCULATION	BLDG USE	TOTAL SQ/FT	DECKS	PARKING GARAGE	GROSS TOTAL SQ/FT
1ST FLOOR	6	2,524 sq/ft	1,034 sq/ft	3,558 sq/ft	146 sq/ft	5,787 sq/ft	9,491 sq/ft
2ND FLOOR	7	7,351 sq/ft	1,494 sq/ft	8,845 sq/ft	472 sq/ft	0 sq/ft	9,317 sq/ft
3RD FLOOR	7	7,351 sq/ft	1,494 sq/ft	8,845 sq/ft	472 sq		

FIRE BLOCKING, DRAFT STOPS & SHAFT ENCLOSURES

1. FIRE PARTITIONS, FIREBLOCKING AND DRAFT STOPS SHALL BE PROVIDED AS REQUIRED BY 2018 IBC SECTION 708 AND 718.
 - A. ATTIC SPACE SHALL BE SUBDIVIDED INTO AREAS NOT EXCEEDING 3000 SQ/FT OR TWO DWELLING UNITS WHICHVER IS SMALLER.
2. FIRE BLOCKS, WHERE REQUIRED, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
3. IN CONCEALED SPACES OF STAIRS, CEILINGS, AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILINGS AND FLOOR LEVELS, AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL:
 - A. AT ALL INTERCONNECTIONS BETWEEN CONCEALED SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - B. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - C. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE, OR CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - D. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
4. FIREBLOCK CONSTRUCTION, EXCEPT AS PROVIDED IN ITEM D ABOVE, FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER OR TWO THICKNESS OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 23/32 INCH PLYWOOD WITH JOINTS BACKED BY 23/32 INCH PLYWOOD OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD. IBC SECTION 718.2.1
5. FIREBLOCKS MAY ALSO BE GYPSUM BOARD, CEMENT ASBESTOS BOARD, MINERAL FIBER, GLASS FIBER OR APPROVED MATERIALS SECURELY FASTENED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SECURELY FASTENED TO THE ATTIC FLOOR. INSULATION MATERIALS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS.
6. ALL SHAFT ENCLOSURES SHALL COMPLY W/ SEC 713.1, 713.4, 713.5 & 713.7
7. PROTECTION REQUIRED FOR BACK TO BACK ELECTRICAL BOXES WITHIN 24" OF EACH OTHER.

MECHANICAL

1. ALL CLOTHES DRYERS SHOULD BE EXHAUSTED TO THE OUTSIDE. IBC SECTION 504.6
2. CLOTHES DRYER EXHAUST DUCTS SHALL NOT BE PUT TOGETHER WITH SHEET METAL SCREWS OR OTHER FASTENING MEANS WHICH EXTEND INTO THE DUCT.
3. UNITS SHALL BE HEATED BY ELECTRIC HEAT.
4. ALL MECHANICAL VENTILATING INTAKE OR DISCHARGE SHOULD BE AT LEAST 3 FEET FROM ANY MECHANICAL VENTILATING INTAKE PER IBC SECTION 401.4
5. SEE ROOF PLANS FOR RESTRICTED AREAS THAT DRYER, BATH & KITCHEN VENTS MAY PENETRATE THE ROOF.
6. MECHANICAL DUCTING & FANS MAY NOT PENETRATE CEILING ASSEMBLY UNLESS FIRE DAMPERED
7. PROVIDE MOTORIZED DAMPERS THAT AUTOMATICALLY SHUT WHEN NOT IN USE AT OUTDOOR AIR AND EXHAUST SYSTEMS. MAXIMUM LEAKAGE RATES WHEN CLOSED SHALL COMPLY WITH 2018 IECC.

_SOUND CONTROL

1. ALL FLOORS, CORRIDOR WALLS AND DEMISING WALLS SHALL ATTAIN A STC RATING OF 50 MIN. PER SEC 1207 IBC.
2. STAIRWAY WALLS WILL REQUIRE RC-1 CHANNELS TO MAINTAIN AN STC OF 50 AS REQ'D PER SEC 1207.1

HANDRAILS

ALL HANDRAILS MUST EXTEND AT THE SAME SLOPE FOR A DISTANCE OF ONE TREAD BEYOND THE BOTTOM RISER AND 12" HORIZONTALLY AT THE TOP RISER. ALL EXTENSIONS SHALL RETURN TO THE WALL AT ENDS 2018 IBC SEC. 1014.

ALL HANDRAILS SHALL HAVE SPACE OF NOT LESS THAN 1-1/2" BETWEEN WALL AND THE HANDRAIL. HANDRAILS MUST HAVE THEIR ENDS RETURNED OR TERMINATED IN NEWEL POST OR SAFETY TERMINALS.

GUARDRAILS FOR STAIRS, BALCONIES AND LANDINGS SHALL CONFORM TO 2018 IBC SEC. 1015. MAXIMUM CLEARANCES BETWEEN INTERMEDIATE RAILS IS LESS THAN 4" AND GUARDRAIL SHALL BE 42".

RAILINGS: NOT LESS THAN 34" OR MORE THAN 38" ABOVE NOSING OF TREAD.

STAIR RISE AND RUN: NOT LESS THAN 4" NOR MORE THAN 7" - TREADS SHALL BE NOT LESS THAN 11".

NOTE: STAIRWAYS SHALL BE MINIMUM 36", HANDRAILS MAY PROJECT NOT MORE THAN 3-1/2" INTO EACH SIDE OF THE REQUIRED WITH PROJECTIONS SUCH AS TRIM ARE LIMITED TO 1-1/2" EACH SIDE PER EGRESS WIDTH 2018 IBC SECTION 1005. PROJECTIONS PER 2018 IBC SECTION 1014.8 EXPOSED POSTS AND RAILS AT EXTERIOR BALCONIES SHALL BE PRESSURE TREATED WOOD PER 2018 IBC SEC. 2304.12.2.2

THE HANDGRIP PORTION OR HANDRAILS SHALL BE NOT LESS THAN 1-1/2" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHOULD PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. GRASPABILITY PER 2018 IBC SEC. 1014.3

RAILINGS AND PARTIAL HEIGHT WALLS SHALL WITHSTAND A 50 POUND PER FOOT HORIZONTAL FORCE. IBC SECTION 1602.8

MISCELLANEOUS REQUIREMENTS

1. WALLS SHALL BE 5/8" GYPSUM BOARD.
2. BUILDING DEPARTMENT APPROVED PLAN SHALL BE ON JOB SITE AT ALL TIMES.
3. ALL DRYER VENTS, KITCHEN HOOD FANS AND BATH FANS SHALL BE VENTED TO EXTERIOR WITH A SMOOTH WIND DUCT.
4. ROOF DRAINS SHALL BE CONNECTED TO PERIMETER DRAINS.
5. A WEATHER-RESISTIVE BARRIER MUST BEPLIED TO EXT. WALLS PER 2018 IBC SEC. 1403.2
6. THE BUILDING SHALL HAVE A QUICK-RESPONSE SPRINKLER HEADS AS PER IBC SEC. 903.3.1 NFPA 13R
7. ALL EXITS SHALL BE ILLUMINATED IN CONFORMANCE WITH 2018 IBC SEC. 1008.1
8. EXIT SIGNS SHALL MEET ALL THE REQUIREMENTS OF 2018 IBC SEC. 1008 & 1013, IN REGARD TO GRAPHICS, ILLUMINATION, & POWER SUPPLY.
9. ALL DOORS, WINDOWS, CABINETS, PLUMBING FIXTURES AND STORAGE FACILITIES NEED TO HAVE A LEVER HANDLE OR SHAPE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE AS PER ICC/ANSI A117.1 - 2009, SEC. 404.2.6
10. GLAZING IN ALL DOORS MUST BE SAFETY GLAZING PER 2018 IBC SEC. 2406.4
11. SHAFT ENCLOSURES ARE REQUIRED TO BE FIRE DAMPERED. SEE IBC SECTION 707, 712 & 714
12. WHERE WOOD STRUCTURAL PANELS ARE INSTALLED BETWEEN THE FIRE PROTECTION AND THE WOOD STUDS IN A RATED ASSEMBLY, THE LENGTH OF THE FASTENERS USED TO ATTACH THE GWB NEEDS TO BE INCREASED BY AN ADDITIONAL 1/2" IN LENGTH.
13. ALL MEANS OF EGRESS DOORS SHALL BE REQUIRED TO OPEN FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. WHEN UNLOCKED, DOORS(S) MUST SWING WITHOUT OPERATION OF ANY LATCHING DEVICE PER SEC 1010.1.9, 2018 IBC.
14. TACTILE EXIT SIGNS PER ICC/ANSI A117.1-2009 ARE REQUIRED AT THE REQUIRED EXIT DOORS TO THE EXTERIOR PER 2018 IBC SEC. 1013.
15. LIGHTED EXIT SIGNS SHOWN WILL REQUIRE BATTERY BACKUP (FOR 90 MINUTES)
16. EXIT SIGNS SHALL BE INSTALLED AT REQUIRED EXIT DOORWAYS AND WHERE OTHERWISE NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED BY TWO ELECTRIC LAMPS OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE. THE BUILDING'S WIRING SYSTEM SHALL PROVIDE CURRENT SUPPLY TO ONE OF THE LAMPS. POWER TO THE OTHER LAMP SHALL BE FROM A BATTERY BACKUP SOURCE FROM AN ON-SITE EMERGENCY SYSTEM PER 2018 IBC SEC 1008.
17. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH DOOR, WHEN ACCESS BY THE PHYSICALLY DISABLED IS REQUIRED, THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2-INCH LOWER THAN THE THRESHOLD OF THE DOORWAY AND THE LENGTH OF THE LANDING IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN FIVE (5) FEET, WHEN ACCESS OF THE PHYSICALLY DISABLED IS NOT REQUIRED SUCH DIMENSIONS MAY BE REDUCED. THE LENGTH OF THE LANDING IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 12 FEET. EXIT DISCHARGES FOR THE BUILDINGS WILL REQUIRE ILLUMINATION OF ALL EGRESS COMPONENTS PER SEC 1010.16.
18. TACTILE EXIT SIGNS ARE REQUIRED AT ALL EXIT DISCHARGE DOORS PER ICC/ANSI A117.1-2009. RESTROOM SIGNAGE SHALL BE ADJACENT TO THE DOORS ON THE LATCH SIDE AT A HEIGHT OF 60 INCHES TO THE CENTER OF THE DOORS ICC/ANSI A117.1-2009. RESTROOM FACILITIES ARE TO MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009, CHAPTER 6.

AT PROJECT CLOSEOUT, CONTRACTOR TO PROVIDE BUILDING OPERATIONS AND MAINTENANCE DOCUMENTS TO OWNER. DOCUMENTS SHALL INCLUDE MANUFACTURE INFORMATION, SPECIFICATIONS, PROGRAMMING PROCEDURES AND MEANS OF ILLUSTRATION TO OWNER HOW BUILDING, EQUIPMENT, AND SYSTEMS ARE INTENDED TO BE INSTALLED, MAINTAINED AND OPERATED.



EACH ACCESSIBLE STALL SHALL HAVE A SIGN AS SHOWN CENTERED WITH THE BOTTOM OF THE SIGN NOT LESS THAN 60 INCHES ABOVE THE FLOOR OR GROUND SURFACE.

MATERIALS LEGEND

SECTIONS

EARTH	INSULATION
CONCRETE	PLYWOOD
SAND	FINISH WOOD
GRAVEL	CONT. FRAMING
ASPHALT	BLOCKING

GENERAL NOTES

OCCUPANCY AND CONSTRUCTION

1. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES PROVIDED ON OR WITHIN THE WALLS SHALL BE INSTALLED AND SEALED TO PROTECT THE STRUCTURAL ELEMENTS FROM MOISTURE.
2. ALL SHOWER SURROUNDS SHALL HAVE A HARD, SMOOTH AND NON-ABSORBENT WALL SURFACE TO A MINIMUM OF 70" ABOVE THE DRAIN OUTLET.
3. ALL GYPSUM WALLBOARD USED AS A BASE FOR THE TILE OR WALL PANELS IN SHOWER ENCLOSURES MUST BE WATER-RESISTANT GYPSUM BACKING BOARD AND NOT INSTALLED OVER A VAPOR BARRIER.
4. THE REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
5. DOORS TO STAIR CLOSETS SHALL NOT EXCEED 1" DIAMETER AND SHALL BE OF AT LEAST 1/4" THICK GLASS DISC WITH METAL HOLDER THAT CAN SUSTAIN A TEMPERATURE OF 1700 DEGREES F PER IBC SEC. 716.5.3 EXCEPTION #1.
6. ATTACHMENTS FOR ASPHALT SHINGLES SHALL BE AS FOLLOWS: INSTALLED OVER A VAPOR BARRIER. SHINGLES WHICH USE HOT GALVANIZED STEEL OR ALUMINUM SHARP POINTED CONVENTIONAL BARBED SHIMMING NAILS OR 0.12 GAUZE, AND AT LEAST 3/4" INCH DEPTH HEAVY DUTY NAILS ARE TO BE OF SUFFICIENT LENGTH TO PENETRATE 3/4" INTO SOLID DECKING OR THROUGH PLYWOOD SHEATHING.
7. RIGID INSULATION SHALL HAVE A FLAME-Spread RATING OF NOT MORE THAN 75 AND A SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED FOR STANDARD 42-1 IBC SEC. 2603.
8. BUILDINGS SHALL BE PROVIDED WITH A MANUAL FIRE ALARM SYSTEM AND PLANS SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL, PER IBC SEC. 907.2.9
9. WHERE THRESHOLDS ARE PROVIDED FOR DOORWAYS OTHER THAN ACCESS TO STORAGE ROOMS AND KITCHENS, THE THRESHOLD SHALL NOT BE MORE THAN 1/2" HIGHER THAN FLOOR LEVEL.
10. ALL ROOFS SHALL HAVE A MINIMUM SLOPE FOR DRAINAGE PER 2018 IBC SEC. 1503.4
11. FLOOR TEXTILES IN PUBLIC AREAS, ACCESSIBLE AND TYPE A DWELLING UNITS MUST BE FIRM, STABLE AND SLIP-RESISTANT.

FIRE DEPARTMENT REQUIREMENTS

1. PORTABLE FIRE EXTINGUISHERS ARE TO BE PROVIDED THROUGHOUT THE PROJECT PRIOR TO OCCUPANCY. EXTINGUISHERS SHALL MEET REQUIREMENTS OF LOCAL FIRE DEPARTMENT.
2. EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. THEY SHALL BE LOCATED ON LANDINGS OF STAIRS OR EACH FLOOR MOUNT EXTINGUISHERS WITH THEIR TOPS OF THE HANDLE NOT MORE THAN FOUR (4) FEET ABOVE FINISHED FLOORS AND NOT LOWER THAN 4' INTO CIRCULATION PATH.
3. ADDRESS NUMBERS FOR ADDRESSES AND MONUMENTS SHALL BE PLACED ON THE BUILDING IN SUCH POSITIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. SAME NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM OF 6" IN HEIGHT WITH A 1/2 INCH STROKE. AN ADDRESS READER BOARD OR MONUMENT AT THE ENTRANCE TO THE PROPERTY MAY BE REQUIRED. (NUMBERS ON THE ADDRESS READER BOARD OR MONUMENT SHALL BE A MINIMUM OF 6" IN HEIGHT WITH A 1/2 INCH STROKE, VISIBLE FROM THE ROAD, AND OF CONTRASTING COLOR.)
4. A FIRE ALARM SYSTEM CONFORMING TO REQUIREMENTS OF 2018 IFC, SEC 907 & BMC 18.02; INSTALLED IN ACCORDANCE WITH NFPA 72 IS REQUIRED AND SHALL BE PROVIDED.
5. FIRE ALARM PLANS SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL. PLANS SHALL BE DESIGNED BY A QUALIFIED PERSON, AND REVIEWED BY A REGISTERED FIRE PROTECTION ENGINEER AND/ OR ELECTRICAL ENGINEER WITH REVIEW COMMENTS SUBMITTED. PROVIDE TWO COMPLETE SETS OF DRAWINGS, SPECIFICATIONS AND REVIEW COMMENTS. PLANS IN ELECTRONIC FORM ACCEPTED AND PREFERRED.
6. POWER SOURCE FOR SMOKE ALARMS WITHIN TENANTED SPACES SHALL CONFORM TO IBC/IFC 907.2.9
7. FIRE ALARM CONTROL PANEL AND ANY OTHER FIRE PROTECTION/ DETECTION EQUIPMENT REQUIRING 120 VAC, SHALL BE SUPPLIED BY DEDICATED CIRCUIT BREAKER(S). OTHER (NON-FIRE PROTECTION/ DETECTION) EQUIPMENT SHALL NOT SHARE THE FIRE ALARM CIRCUITS. CIRCUIT BREAKER(S) FOR FIRE ALARM CIRCUITS(S) SHALL BE RED. "LOCKED" AND "READY" MARKING "FIRE ALARM CIRCUIT" IDENTIFIED.
8. AT LEAST TWO INDIVIDUAL AND RELIABLE POWER SUPPLIES SHALL BE PROVIDED FOR FIRE ALARM SYSTEMS. ONE PRIMARY AND ONE SECONDARY, EACH OF WHICH SHALL BE OF ADEQUATE CAPACITY FOR APPLICATION. (NEPA 72, 4.4.1.3.1)
9. A DEDICATED BRANCH CIRCUIT SHALL SUPPLY PRIMARY POWER. (NEPA 72, 4.4.1.4.1)
10. 1. THE DEDICATED BRANCH CIRCUITS(S) AND CONNECTIONS SHALL BE MECHANICALLY PROTECTED. (NEPA 72, 4.4.1.4.2.1)
11. CIRCUIT DISCONNECTING MEANS (CIRCUIT BREAKER) SHALL HAVE RED MARKING, SHALL BE ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL, AND SHALL BE IDENTIFIED AS "FIRE ALARM CIRCUIT." (NEPA 72, 4.4.1.4.2.2)
12. THE LOCATION OF THE CIRCUIT DISCONNECTING MEANS SHALL BE PERMANENTLY IDENTIFIED AT THE ALARM CONTROL UNIT. (NEPA 72, 4.4.1.4.2.3)
13. THE SECONDARY POWER SUPPLY SHALL CONSIST OF ONE OF THE FOLLOWING:
 1. A STORAGE BATTERY DEDICATED TO THE ALARM SYSTEM ARRANGED IN ACCORDANCE WITH NEPA 72, 4.4.1.8.
 2. A DEDICATED BRANCH CIRCUIT OF AN AUTOMATIC-STARTING, ENGINE-DRIVEN GENERATOR ARRANGED IN ACCORDANCE WITH NFPA 4.4.1.9.3.1 AND STORAGE BATTERIES DEDICATED TO THE FIRE ALARM SYSTEM WITH 4 HOURS OF CAPACITY ARRANGED IN ACCORDANCE WITH NEPA 72, 4.4.1.8.
 3. THE SECONDARY POWER SUPPLY SHALL HAVE SUFFICIENT CAPACITY TO OPERATE THE FIRE ALARM SYSTEM UNDER QUIESCENT LOAD (SYSTEM OPERATING IN A NONALARM CONDITION) FOR A MINIMUM OF 60 HOURS AND, AT THE END OF THAT PERIOD, SHALL BE CAPABLE OF OPERATING ALL ALARM NOTIFICATION APPLIANCES USED FOR EVACUATION OR TO DIRECT THE LOCATION OF AN EMERGENCY FOR 5 MINUTES.
 4. AN NFPA 13R AUTOMATIC FIRE EXTINGUISHING SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH IFC, SECTION 903 AND NFPA 13R IS REQUIRED AND SHALL BE PROVIDED.
14. AUTOMATIC FIRE SPRINKLER AND UNDERGROUND FIRE MAIN PLANS SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL. PLANS SHALL BE DESIGNED BY A STATE CERTIFIED DESIGNER AND BEAR THE STAMP OF THE DESIGNER. PROVIDE AT LEAST TWO COMPLETE SETS OF DRAWINGS, SPECIFICATIONS AND CALCULATIONS. PLANS IN ELECTRONIC FORM ARE ACCEPTED AND PREFERRED. ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH THE APPROPRIATE NFPA SPRINKLER SYSTEM DESIGN AND INSPECTION STANDARD (NFPA 13-R) AND OTHER RELATED PROTECTION SYSTEM DESIGN STANDARDS.
15. NOTE: NOT A CODE REQUIREMENT, HOWEVER, IF SPRINKLERED, USE OF CONCEALED SPRINKLER HEADS IN CLOSETS, ETC. IS ADVISED TO MINIMIZE POTENTIALS FOR SPRINKLER HEAD DAMAGE.
16. EMERGENCY VEHICLE LANES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
17. EMERGENCY RESPONDER RADIO COVERAGE PER IFC SECTION 510.1 EMERGENCY RESPONDER RADIO COVERAGE IN ALL NEW BUILDINGS SHALL HAVE APPROVED COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING.
18. ALL RISER ROOMS SHALL HAVE A KNOX 3200 SERIES RECESSED KEY BOX AT THE RISER ROOM WITH KEYS FOR ACCESS TO BUILDING SYSTEM CONTROLS PER (FC 506.1).
19. IF VEHICLE PROTECTION IS DEEMED REQUIRED FOR PROTECTION OF ANY EQUIPMENT IT SHALL COMPLY WITH IFC SEC 312. GUARD POSTS (BOLLARDS) ARE REQUIRED FOR PROTECTION OF GAS PIPING, ELECTRICAL EQUIPMENT, FIRE PROTECTION PIPING AND HYDRANTS LOCATED WHERE THEY COULD BE SUBJECT TO VEHICLE DAMAGE.
20. FIRE SPRINKLER RISER ROOMS SHALL HAVE IDENTIFICATION SIGNS ON THE DOOR. THEY SHALL BE DARK LETTERS IF ON A LIGHT COLORED BACKGROUND AND LIGHTER COLORS IF DARK BACKGROUND.
21. ADDRESS NUMBERS SHALL BE POSTED FOR THE JOB SITE AND NEW BUILDING PER THIS TABLE:

ADDRESS NUMBERING HEIGHT TABLE	DISTANCE FROM ROAD:	MINIMUM SIZE:
0-100 FT	6"	
101-150 FT	8"	
150-200 FT	10"	
201-300 FT	12"	
301 FEET AND UP	18"	

BUILDING CLASSIFICATION

1. HOTEL 3 STORY
2. OCCUPANCY CLASSIFICATION ROOMS - R-1
3. ALARMS & SMOKE DETECTORS SHALL BE PER IBC 2018 SEC 907.2.9
4. ALL DEMISING WALLS AND FLOORS BETWEEN UNITS SHALL BE 1 HOUR (PER IBC SEC. 420.2 & 420.3) & HAVE AN STC (50) PER 2018 IBC SEC 1207.2
5. ALL UNITS SHALL HAVE AN NFPA SPRINKLER SYSTEM
6. ALL FLOORS BETWEEN UNITS, & UNIT DEMISING WALLS TO BE 1 HR RATED.
7. STAIR ENCLOSURES TO BE 1 HR RATED.

CONSTRUCTION

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING CODES:
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2018 INTERNATIONAL PLUMBING CODE (UPC)
 - 2020 NATIONAL ELECTRICAL CODE (NEC)
 - 2018 INTERNATIONAL FIRE CODE (IFC) (INCL. APPENDIX H, SIGNS AND APPENDIX J - GRADING)
 - 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2018 INTERNATIONAL GAS CODE (IGC)
 - 2018 NFPA 13 and 2019 NFPA 28 Standards)
- ICC A117.1 2009 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL GAS CODE (IGC) (INCLUDING APPENDICES A, B, C & D)
- DESIGN LOADS

ACCESSIBLE ROUTES - ICC/ANSI A117.1-2009 CHAPTER 4

THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE 36 INCHES EXCEPT AT DOORS, WHERE AN ACCESSIBLE ROUTE INCLUDES A 180 DEGREE TURN AROUND AN OBSTRUCTION WHICH IS LESS THAN 48 INCHES IN WIDTH, THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE OF TRAVEL AROUND THE OBSTRUCTIONS SHALL BE 42 INCHES MIN.

WHERE AN ACCESSIBLE ROUTE OF TRAVEL IS LESS THAN 60 INCHES IN WIDTH, PASSING SPACES AT LEAST 60 INCHES BY 60 INCHES SHALL BE LOCATED AT INTERVALS NOT TO EXCEED 20 FEET. A T-SHAPED INTERSECTION OF TWO CORRIDORS OR WALKS MAY BE USED AS A PASSING SPACE.

ACCESSIBLE ROUTES SHALL HAVE CLEAR HEIGHT OF NOT LESS THAN 7'-6" PER BC SEC. 1003.2 EXCEPT AT DOORWAYS, WHICH ARE PERMITTED TO HAVE A CLEARANCE OF 78 INCHES MINIMUM CLEAR HEIGHT, PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FLOOR SHALL NOT EXCEED 4 INCHES.

AN ACCESSIBLE ROUTE OF TRAVEL SHALL HAVE A RUNNING SLOPE NOT GREATER THAN 1 VERTICAL IN 20 HORIZONTAL, CROSS SLOPES OF AN ACCESSIBLE ROUTE OF TRAVEL SHALL NOT EXCEED 1 VERTICAL IN 48 INCHES. ICC/ANSI A117.1-2009, SECTION 403.3.

PASSENGER TRANSIT PLATFORM EDGES BORDERING A DROP-OFF AND NOT PROTECTED BY PLATFORM SCREENS OR GUARDS SHALL HAVE A DETECTABLE WARNING CURB RAMPS SHALL HAVE DETECTABLE WARNINGS. IBC/WA STATE AMENDMENTS SECTION 1109.3.

ILLUMINATION SHALL BE PROVIDED ALONG AN EXTERIOR ACCESSIBLE ROUTE OF TRAVEL AT ANY TIME THE BUILDING IS OCCUPIED, WITH AN INTENSITY OF NOT LESS THAN ONE FOOT-CANDLE ON THE SURFACE OF THE ROUTE. IBC SECTION 1006.

TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR VEHICULAR WAYS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES IN HEIGHT. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMPS OR ACCESSIBLE ROUTE OF TRAVEL SHALL NOT EXCEED 1 VERTICAL IN 20 HORIZONTAL.

CURB RAMPS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH, EXCLUSIVE OF FLARED SIDES.

PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF A ROUTE OF TRAVEL OR MANEUVERING SPACE. ANY WALL OR POST MOUNTED OBJECT WITH ITS EXTERIOR EDGES BETWEEN 27 AND 80 INCHES ABOVE THE FLOOR MAY PROJECT NO MORE THAN 8 INCHES INTO A ROUTE OF TRAVEL, CORRIDOR, PASSAGeway OR AISLE. ANY WALL OR POST MOUNTED PROJECTION GREATER THAN 4 INCHES SHALL EXTEND TO THE FLOOR.

THE MAXIMUM SLOPE OF A RAMP SHALL BE 1 VERTICAL IN 12 HORIZONTAL. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 INCHES.

THE MINIMUM WIDTH OF A RAMP SHALL BE NOT LESS THAN 36 INCHES. RAMPS IN THE ACCESSIBLE ROUTE OF TRAVEL SHALL HAVE LANDINGS AT THE TOP AND BOTTOM, AND AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 30 INCHES OF RISE. LANDING SHALL BE LEVEL AND HAVE A MIN. DIMENSION MEASURED IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 60 INCHES. WHERE THE RAMP CHANGES DIRECTION AT A LANDING, THE LANDING SHALL BE NOT LESS THAN 60 INCHES BY 60 INCHES. THE WIDTH OF ANY LANDING SHALL BE NOT LESS THAN THE WIDTH OF THE RAMPS.

RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS AS REQUIRED FOR STAIRWAY. HANDRAILS SHALL BE CONTINUOUS PROVIDED THAT THEY SHALL NOT BE REQUIRED AT ANY POINT OF ACCESS ALONG THE RAMP, NOR AT ANY CURB RAMP. HANDRAILS SHALL EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF ANY RAMP RUN.

DOORS SHALL BE CAPABLE OF BEING OPENED SO THE CLEAR WIDTH OF OPENING IS NOT LESS THAN 32 INCHES.

PRIMARY ENTRANCE DOOR TO THE UNIT, AN ALL OTHER DOORWAYS INTENDED FOR USER PASSAGE, SHALL HAVE A CLEAR WIDTH OF OPENING NOT LESS THAN 32 INCHES.

ALL DOORS IN COMMON USE AREAS, AND ACCESSIBLE UNITS DOORS SHALL HAVE A MINIMUM MANEUVERING CLEARANCES AS FOLLOWS:

FOR A FORWARD APPROACH, WHERE A DOOR MUST BE PULLED TO BE OPENED, AN UNOBSTRUCTED FLOOR SPACE SHALL EXTEND AT LEAST 18 INCHES BEYOND THE STRIKE JAMB AND EXTEND AT LEAST 60 INCHES PERPENDICULAR TO THE DOOR.

FOR A FORWARD APPROACH, WHERE A DOOR MUST BE PUSHED TO BE OPENED AND IS EQUIPPED WITH A CLOSER AND A LATCH, AN UNOBSTRUCTED FLOOR SPACES SHALL EXTEND 12 INCHES BEYOND THE STRIKE JAMB AND EXTEND AT LEAST 48 INCHES PERPENDICULAR TO THE DOORWAY.

FOR A FORWARD APPROACH, WHERE A DOOR MUST BE PUSHED TO BE OPENED AND IS NOT EQUIPPED WITH A CLOSER AND A LATCH, AN UNOBSTRUCTED FLOOR SPACE SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND EXTEND AT LEAST 48 INCHES PERPENDICULAR TO THE DOORWAY.

WHERE TWO DOORS ARE IN SERIES, THE MINIMUM DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS SHALL BE 48 INCHES, IN ADDITION, ANY AREA NECESSARY FOR A TURNING SPACE, REFER TO A117.1-2009, WHETHER IN THE SAME DIRECTION, OR AWAY FROM THE SPACE BETWEEN THE DOORS. THE SPACE BETWEEN THE DOORS SHALL PROVIDE A TURNING SPACE COMPLYING WITH ICC/ANSI A117.1-2009 SECTION 304.

ALL DOORS IN ALCOVES SHALL COMPLY WITH THE REQUIREMENT FOR A FORWARD APPROACH.

DOOR CLOSURE SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.

PUSH SIDE OF DOOR BOTTOMS TO BE 10" MIN AFF OF SWING DOORS IN A SMOOTH SURFACE AT ALL TYPE A UNITS, COMMON AREA DOORS AS WELL AS GATES, TYPE B ENTRY (NOT APPLICABLE WHERE USED AT TYPE B INTERIOR DOORS).

WHERE A DOOR CONTAINS ONE OR MORE VISION PANELS, THE BOTTOM OF THE GLASS OF AT LEAST ONE PANEL, SHALL BE NOT MORE THAN 43 INCHES ABOVE

ALL PUBLIC RESTROOMS SHALL HAVE UNOBSTRUCTED FLOOR SPACE OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER OF NOT LESS THAN 60 INCHES. IN ANY POSITION MAY ENTRANCE INTO THIS SPACE THE CLEAR FLOOR SPACES AT FIXTURES, THE ACCESSIBLE ROUTE OF TRAVEL, AND THE UNOBSTRUCTED FLOOR SPACE MAY OVERLAP.

ALTERNATE: T-SHAPED SPACE AS SHOWN ON SHEET A0.4

CHANGES IN LEVEL OF 1/4" MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT MORE THAN 1:12.

OPENING IN FLOOR SURFACES SHALL BE OF A SIZE THAT DOES NOT PERMIT THE PASSAGE IF A 1/2" DIAMETER SPHERE, ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

WATER CLOSETS - ICC/ANSI A117.1-2009 SECTION 604

THE CENTERLINE OF THE WATER CLOSET SHALL BE 18 INCHES FROM THE SIDE WALL OR PARTITION. A CLEARANCE AROUND A WATER CLOSET 60 INCHES MINIMUM, MEASURED PERPENDICULAR FROM THE SIDEWALL, AND 56 INCHES MINIMUM FOR A WALL MOUNTED FIXTURE, AND 59 INCHES MINIMUM FOR A FLOOR MOUNTED FIXTURE MEASURED PERPENDICULAR FROM THE REAR WALL MEASURED PERPENDICULAR FROM THE REAR WALL SHALL BE PROVIDED.

A LAVATORY MAY BE LOCATED WITHIN THE CLEAR FLOOR SPACE REQUIRED FOR A WATER CLOSET, PROVIDED THAT KNEE AND TOE CLEARANCES FOR THE LAVATORY ARE PROVIDED, IN DWELLING UNITS ONLY.

THE HEIGHT OF WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MAXIMUM ABOVE THE FLOOR, MEASURED TO THE TOP OF THE SEAT. SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.

GRAB BARS SHALL BE INSTALLED PROVIDED ON THE REAR WALL AND ON THE SIDE WALL CLOSEST TO THE WATER CLOSET. FIXED SIDEWALL GRAB BARS SHALL BE 42 INCHES MINIMUM IN LENGTH, LOCATED 12 INCHES MAXIMUM FROM THE REAR WALL, AND 36 INCHES MINIMUM FROM THE SIDEWALL. IN ADDITION, A VERTICAL GRAB BAR 18 INCHES MINIMUM IN LENGTH SHALL BE MOUNTED WITH THE BOTTOM OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 35 INCHES AND 41 INCHES FROM THE REAR WALL. EXCEPT FOR IN TYPE A UNITS, THE VERTICAL GRAB BAR COMPONENT IS NOT REQUIRED. ICC/ANSI A117.1-2009 SECTION 604.5.1

ALL REQUIRED GRAB BARS SHALL BE INSTALLED PARALLEL TO THE FLOOR, UNLESS SPECIFIED OTHERWISE. LOWER GRAB BARS SHALL BE INSTALLED CENTERED 9 INCHES ABOVE THE RIM, TOPPER OR SINGLE GRAB BARS SHALL BE INSTALLED CENTERED NOT LESS THAN 30 INCHES AND NOT MORE THAN 36 INCHES ABOVE THE FLOOR OF THE CLEAR SPACE.

BATHTUBS WITHOUT PERMANENT SEATS: TWO HORIZONTAL GRAB BARS SHALL BE PROVIDED ON THE BACK WALL, ONE COMPLYING WITH SECTION 609.4 AND THE OTHER 9 INCHES ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE 24 INCHES MINIMUM IN LENGTH, LOCATED 24 INCHES MAXIMUM FROM THE HEAD END WALL, AND EXTENDED 12 INCHES INWARD FROM THE FRONT END WALL. A HORIZONTAL GRAB BAR 24 INCHES MINIMUM IN LENGTH SHALL BE PROVIDED ON THE CONTROL END WALL BEGINNING NEAR THE FRONT EDGE OF THE BATHTUB AND EXTENDING TOWARD THE INSIDE CORNER OF THE BATHTUB. A VERTICAL GRAB BAR SHALL BE PROVIDED ON THE CONTROL END WALL, BE PROVIDED ON THE CONTROL END WALL 3 INCHES MINIMUM TO 6 INCHES MAXIMUM ABOVE THE HORIZONTAL GRAB BAR, AND 4 INCHES MAXIMUM INWARD FROM THE FRONT EDGE OF THE BATHTUB.

EXCEPTION: AN L-SHAPED CONTINUOUS GRAB BAR OF EQUIVALENT DIMENSIONS AND POSITIONING SHALL BE PROVIDED SINCE THE FUNCTION OF SEPARATE VERTICAL AND HORIZONTAL GRAB BARS. ICC/ANSI A117.1-2009 SECTION 607.4.2.2 A HORIZONTAL GRAB BAR 12 INCHES MINIMUM IN LENGTH SHALL BE PROVIDED ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.

LAVATORIES AND SINKS - ICC/ANSI A117.1-2009 SECTION 606

A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3, POSITIONED FOR FORWARD APPROACH, SHALL BE PROVIDED. CLEAR FLOOR SPACE COMPLYING WITH SECTION 306 SHALL BE PROVIDED. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE AND TOE CLEARANCES.

LAVATORIES AND SINKS IN ACCESSIBLE UNITS SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 INCHES ABOVE THE FINISHED FLOOR

THE TOTAL DEPTH OF THE CLEAR SPACE BENEATH A LAVATORY SHALL BE NOT LESS THAN 17 INCHES, OF WHICH TOE CLEARANCE SHALL BE NOT MORE THAN 6 INCHES OF THE TOTAL DEPTH. KNEE CLEARANCE SHALL BE NOT LESS THAN 27 INCHES IN HEIGHT AND 30 INCHES IN DEPTH. ICC/ANSI A117.1-2009 SECTION 306.

KNEE CLEARANCE NOT LESS THAN 27 INCHES IN HEIGHT, 30 INCHES IN WIDTH AND 17 INCHES IN DEPTH SHALL BE PROVIDED UNDERNEATH SINKS. (APPLY TO COMMON USE AREAS AND TYPE A UNITS ONLY, NOT TYPE B UNITS, EXCEPT WHERE A PARALLEL APPROACH CANNOT BE ACCOMPLISHED.) ICC/ANSI A117.1-2009 SECTION 306.

WATER SUPPLY & DRAIN PIPES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDERNEATH LAVATORIES OR SINKS.

FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 25 INCHES FROM THE FRONT EDGE OF THE LAVATORY, SINK, COUNTER, AND OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.

MIRRORS OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE MIRROR OR THE TOP OF THE SHELF IS WITHIN 40 INCHES OF THE FLOOR.

KITCHENS - ICC/ANSI A117.1-2009 SECTION 1003.12

AN UNOBSTRUCTED FLOOR SPACE SHALL BE PROVIDED WITHIN KITCHENS OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER OF NOT LESS THAN 60 INCHES. DOORS IN ANY POSITION MAY ENTRANCE INTO THIS SPACE BY NOT MORE THAN 12 INCHES. THE CLEAR FLOOR SPACE AT FIXTURES, THE ACCESSIBLE ROUTE OF TRAVEL, AND THE UNOBSTRUCTED FLOOR SPACE MAY OVERLAP. AN ALTERNATE T-SHAPED SPACE IS ACCEPTABLE. SEE SHEET A0.4

KITCHENS MUST HAVE A CLEAR SPACE AT LEAST 30 INCHES BY 48 INCHES THAT ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR AT THE RANGE OR COOK TOP AND ALL OTHER APPLIANCES. REFRIGERATOR IN ACCESSIBLE UNITS MUST HAVE A PARALLEL APPROACH. SINKS MUST ALLOW FOR A FORWARD APPROACH.

CLEARANCE BETWEEN ALL OPPPOSING COUNTERS, BASE CABINETS, COUNTERTOPS, APPLIANCES AND WALLS SHALL BE NOT LESS THAN 40 INCHES.

IN "U" SHAPED KITCHENS AN UNOBSTRUCTED FLOOR SPACE OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER OF NOT LESS THAN 60 INCHES SHALL BE PROVIDED.

ALTERNATE: T-SHAPED SPACE AS SHOWN ON SHEET A0.4 (NOT APPLICABLE FOR GALLEY TYPE KITCHENS)

BATHROOMS MUST HAVE CLEAR FLOOR SPACE FOR ALL FIXTURES. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE FOR ANY FIXTURE.

DOOR CLOSURE SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION

OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.

PUSH SIDE OF DOOR BOTTOMS TO BE 10" MIN AFF OF SWING DOORS IN A SMOOTH SURFACE AT ALL TYPE A UNITS, COMMON AREA DOORS AS WELL AS GATES, TYPE B ENTRY (NOT APPLICABLE WHERE USED AT TYPE B INTERIOR DOORS).

WHERE A DOOR CONTAINS ONE OR MORE VISION PANELS, THE BOTTOM OF THE GLASS OF AT LEAST ONE PANEL, SHALL BE NOT MORE THAN 43 INCHES ABOVE

ALL PUBLIC RESTROOMS SHALL HAVE UNOBSTRUCTED FLOOR SPACE OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER OF NOT LESS THAN 60 INCHES. IN ANY POSITION MAY ENTRANCE INTO THIS SPACE THE CLEAR FLOOR SPACES AT FIXTURES, THE ACCESSIBLE ROUTE OF TRAVEL, AND THE UNOBSTRUCTED FLOOR SPACE MAY OVERLAP.

ALTERNATE: T-SHAPED SPACE AS SHOWN ON SHEET A0.4

CHANGES IN LEVEL OF 1/4" MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT MORE THAN 1:12.

OPENING IN FLOOR SURFACES SHALL BE OF A SIZE THAT DOES NOT PERMIT THE PASSAGE IF A 1/2" DIAMETER SPHERE, ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

BATHTUBS ICC/ANSI A117.1-2009 SECTION 607

CLEARANCE IN FRONT OF THE BATHTUB SHALL EXTEND THE LENGTH OF THE BATHTUB AND SHALL BE 30 IN (760 MM) PERPENDICULAR TO THE CLEARANCE, COMPLYING WITH SECTION 607.2. PERMANENT SEATS PROVIDED AT THE HEAD END OF THE BATHTUB, WHERE A PERMANENT SEAT IS PROVIDED AT THE HEAD END OF THE BATHTUB, THE CLEARANCE SHALL EXTEND A MINIMUM OF 12 IN (305 MM) BEYOND THE WALL AT THE HEAD END OF THE BATHTUB.

A LAVATORY MAY BE LOCATED IN THE CLEAR FLOOR SPACE FOR THE TUB.

WHERE A SEAT IS PROVIDED AND A LAVATORY IS LOCATED IN THE CLEAR FLOOR SPACE FOR THE TUB, THE LAVATORY SHALL BE LOCATED AT THE FOOT END OF THE TUB. ICC/ANSI A117.1, SECTION 607.2.1

A PERMANENT SEAT AT THE HEAD END OF THE BATHTUB OR A REMOVABLE IN-TUB SEAT SHALL BE PROVIDED. SEATS SHALL COMPLY WITH SECTION 610. EXCEPTION: IN DWELLING UNITS THE REMOVABLE IN-TUB SEAT IS NOT REQUIRED. ICC/ANSI A117.1-2009 SECTION 1003.11.2.5.1

ALL REQUIRED GRAB BARS SHALL BE INSTALLED PARALLEL TO THE FLOOR, UNLESS SPECIFIED OTHERWISE. LOWER GRAB BARS SHALL BE INSTALLED CENTERED 9 INCHES ABOVE THE RIM, TOPPER OR SINGLE GRAB BARS SHALL BE INSTALLED CENTERED NOT LESS THAN 30 INCHES AND NOT MORE THAN 36 INCHES ABOVE THE FLOOR OF THE CLEAR SPACE.

BATHTUBS WITHOUT PERMANENT SEATS: TWO HORIZONTAL GRAB BARS SHALL BE PROVIDED ON THE BACK WALL, ONE COMPLYING WITH SECTION 609.4 AND THE OTHER 9 INCHES ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE 24 INCHES MINIMUM IN LENGTH, LOCATED 24 INCHES MAXIMUM FROM THE HEAD END WALL, AND EXTENDED 12 INCHES INWARD FROM THE FRONT END WALL. A HORIZONTAL GRAB BAR 24 INCHES MINIMUM IN LENGTH SHALL BE PROVIDED ON THE CONTROL END WALL BEGINNING NEAR THE FRONT EDGE OF THE BATHTUB AND EXTENDING TOWARD THE INSIDE CORNER OF THE BATHTUB. A VERTICAL GRAB BAR SHALL BE PROVIDED ON THE CONTROL END WALL, BE PROVIDED ON THE CONTROL END WALL 3 INCHES MINIMUM TO 6 INCHES MAXIMUM ABOVE THE HORIZONTAL GRAB BAR, AND 4 INCHES MAXIMUM INWARD FROM THE FRONT EDGE OF THE BATHTUB.

EXCEPTION: AN L-SHAPED CONTINUOUS GRAB BAR OF EQUIVALENT DIMENSIONS AND POSITIONING SHALL BE PROVIDED SINCE THE FUNCTION OF SEPARATE VERTICAL AND HORIZONTAL GRAB BARS. ICC/ANSI A117.1-2009 SECTION 607.4.2.2 A HORIZONTAL GRAB BAR 12 INCHES MINIMUM IN LENGTH SHALL BE PROVIDED ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.

LAVATORIES AND SINKS - ICC/ANSI A117.1-2009 SECTION 606

A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3, POSITIONED FOR FORWARD APPROACH, SHALL BE PROVIDED. CLEAR FLOOR SPACE COMPLYING WITH SECTION 306 SHALL BE PROVIDED. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE AND TOE CLEARANCES.

LAVATORIES AND SINKS IN ACCESSIBLE UNITS SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 INCHES ABOVE THE FINISHED FLOOR

THE TOTAL DEPTH OF THE CLEAR SPACE BENEATH A LAVATORY SHALL BE NOT LESS THAN 17 INCHES, OF WHICH TOE CLEARANCE SHALL BE NOT MORE THAN 6 INCHES OF THE TOTAL DEPTH. KNEE CLEARANCE SHALL BE NOT LESS THAN 27 INCHES IN HEIGHT AND 30 INCHES IN DEPTH. ICC/ANSI A117.1-2009 SECTION 306.

KNEE CLEARANCE NOT LESS THAN 27 INCHES IN HEIGHT, 30 INCHES IN WIDTH AND 17 INCHES IN DEPTH SHALL BE PROVIDED UNDERNEATH SINKS. (APPLY TO COMMON USE AREAS AND TYPE A UNITS ONLY, NOT TYPE B UNITS, EXCEPT WHERE A PARALLEL APPROACH CANNOT BE ACCOMPLISHED.) ICC/ANSI A117.1-2009 SECTION 306.

WATER SUPPLY & DRAIN PIPES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDERNEATH LAVATORIES OR SINKS.

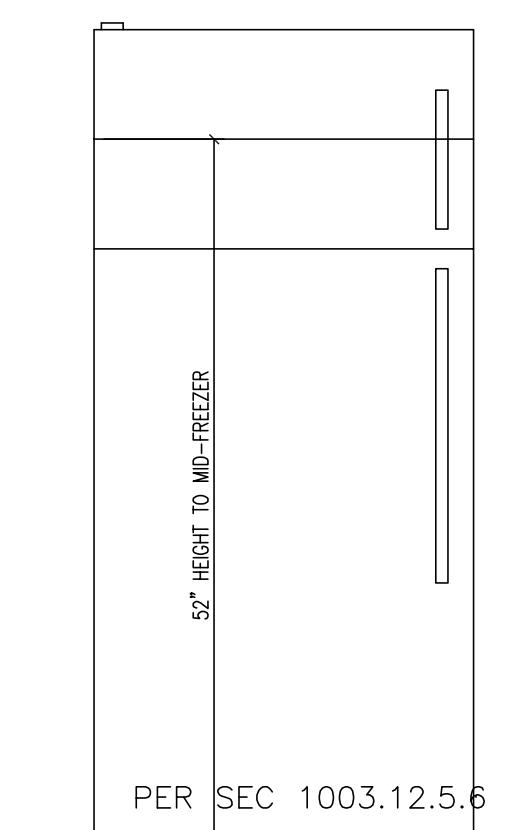
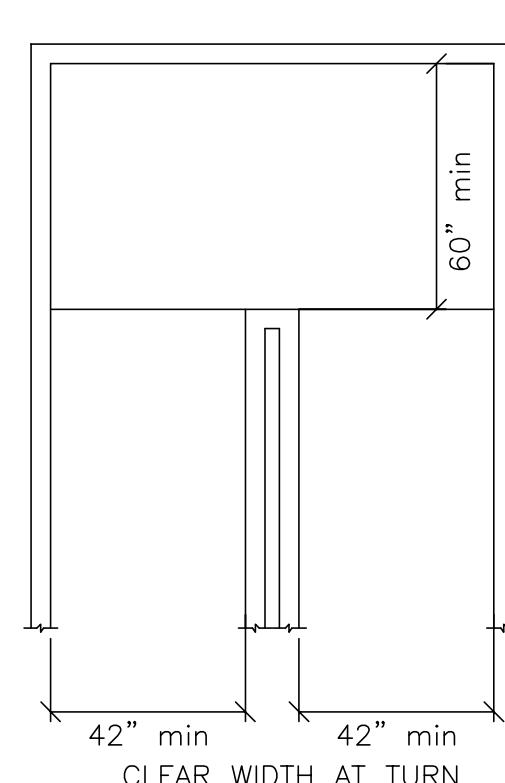
FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 25 INCHES FROM THE FRONT EDGE OF THE LAVATORY, SINK, COUNTER, AND OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.

MIRRORS OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE MIRROR OR THE TOP OF THE SHELF IS WITHIN 40 INCHES OF THE

VISUAL CHARACTER HEIGHT

HEIGHT ABOVE FLOOR TO BASELINE OF CHARACTER	HORIZONTAL VIEWING DISTANCE	MINIMUM CHARACTER HEIGHT
40 INCHES TO LESS THAN OR EQUAL TO 70 INCHES	LESS THAN 6 FEET	5/8 INCH
GREATER THAN 70 INCHES TO LESS OR EQUAL TO 120 INCHES	6 FEET AND GREATER	5/8 INCH, PLUS 1/8 PER FOOT OF VIEWING DISTANCE ABOVE 6 FEET
GREATER THAN 120 INCHES	LESS THAN 15 FEET	2 INCHES
	15 FEET AND GREATER	2 INCHES, PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 15 FEET
	LESS THAN 21 FEET	3 INCHES
	21 FEET AND GREATER	3 INCHES, PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 21 FEET

CLEAR WIDTH OF AN ACCESSIBLE ROUTE

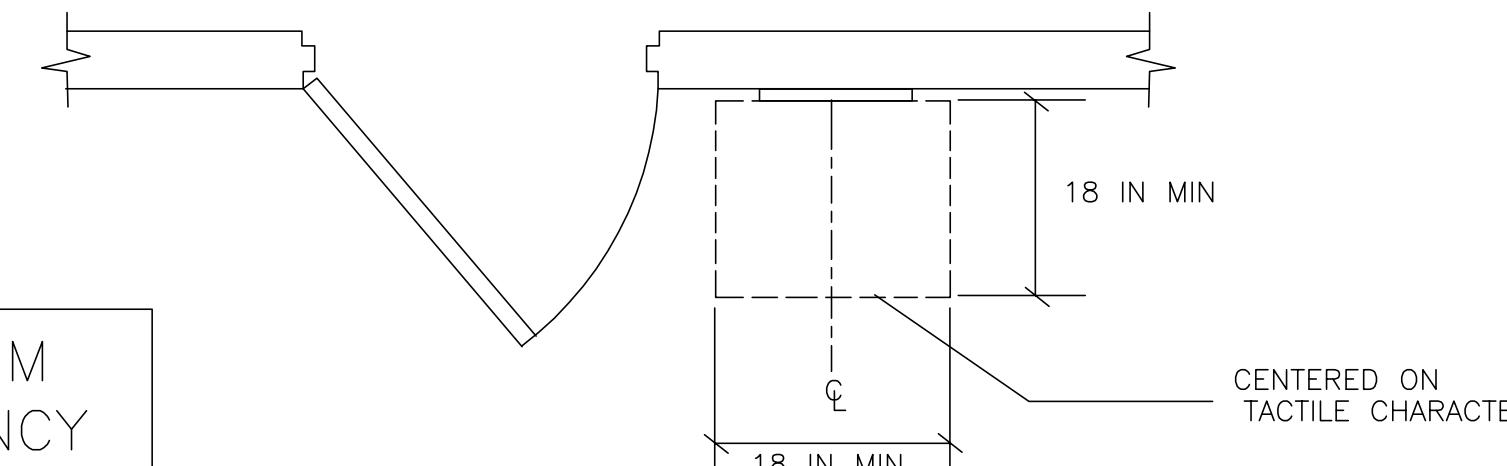


PER SEC 1003.12.5.6

BRAILLE DIMENSIONS

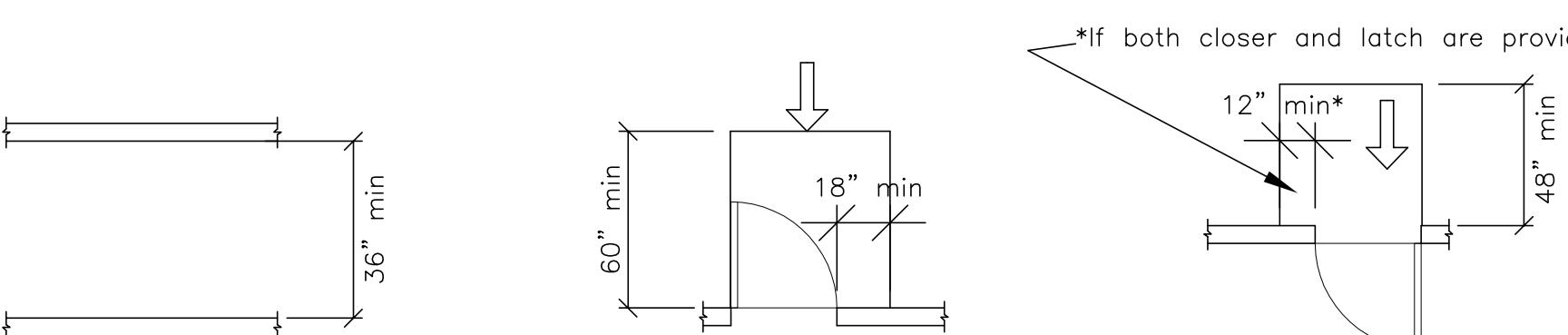
MEASUREMENT RANGE	MINIMUM IN INCHES	MAXIMUM IN INCHES
DOT BASE DIAMETER	0.059 TO 0.063	
DISTANCE BETWEEN 2 DOTS IN SAME CELL	0.090 TO 0.100	
DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS	0.241 TO 0.300	
DOT HEIGHT	0.025 TO 0.037	
DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW	0.395 TO 0.400	

LOCATION OF TACTILE SIGNS AT DOORS

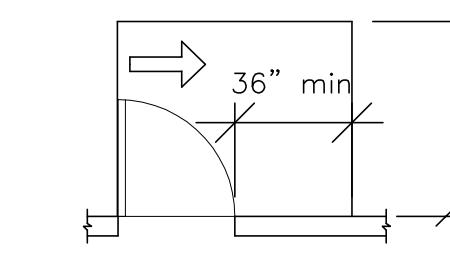


EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM POSTED NEAR THE MAIN EXIT FROM THE ROOM.
□ ON PLANS GIVES THE LOCATION

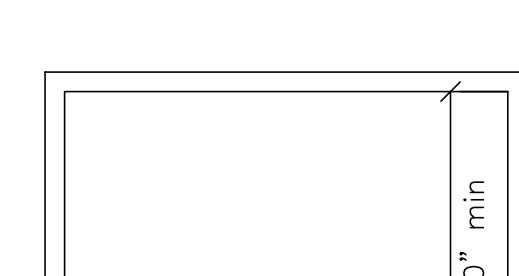
OCCUPANCY LOAD SIGNS



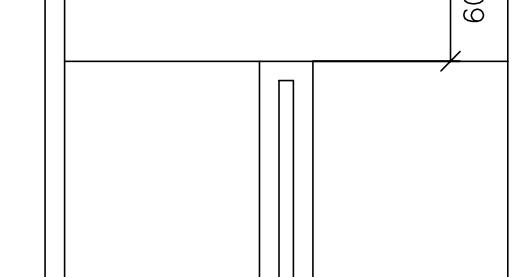
(a) Front Approach, Pull Side



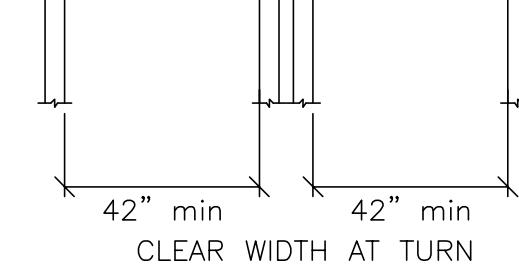
(b) Front Approach, Push Side



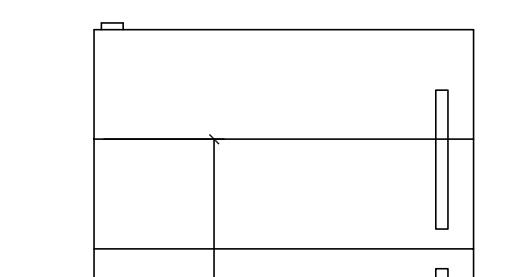
(c) Hinge Approach, Pull Side



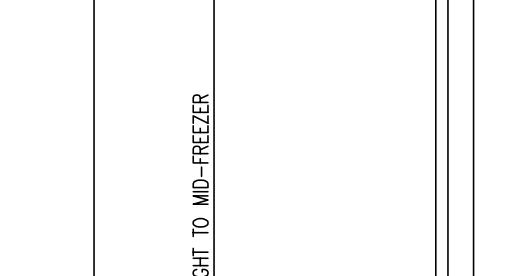
(d) Hinge Approach, Push Side



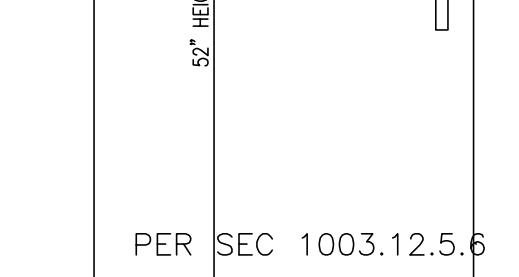
(e) Hinge Approach, Push Side



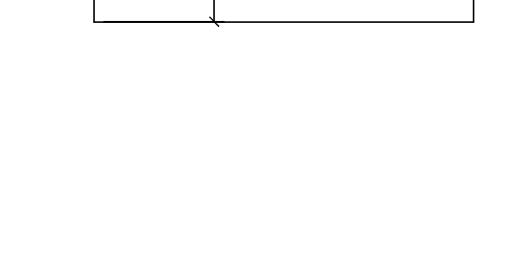
(f) Latch Approach, Pull Side



(g) Latch Approach, Push Side



THRESHOLD (BEVELED CHANGE IN LEVEL)



T-SHAPED TURNING SPACE



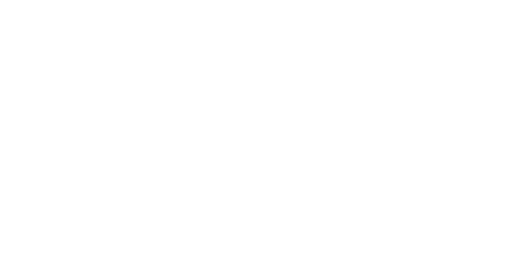
WASHER/DRYER COMBO



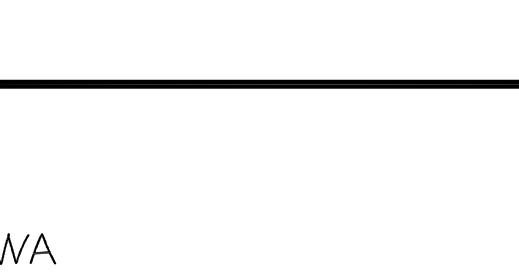
DOOR MANEUVERING REQUIREMENT FOR COMMON USE AREAS & TYPE "A" UNITS ONLY AND ENTRY DOORS OF TYPE "B" UNITS



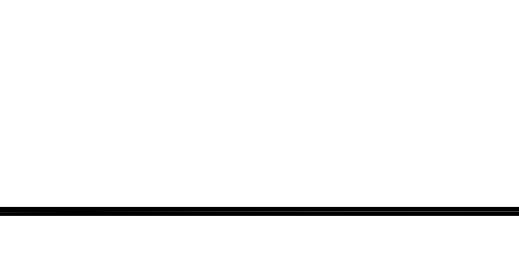
FOR TYPE "B" UNITS



FOR TYPE "B" UNITS

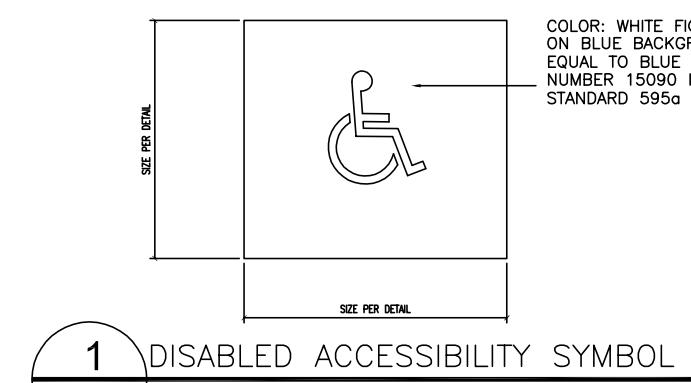


FOR TYPE "B" UNITS



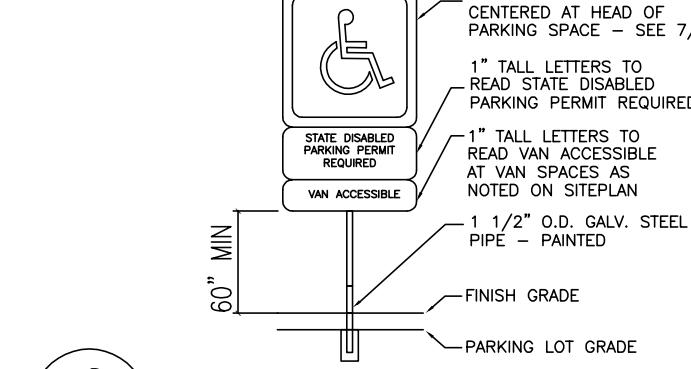
FOR TYPE "B" UNITS

COLOR: WHITE, FIGURE ON BLUE BACKGROUND, EQUAL TO COLOR NUMBER 15090 IN FEDERAL STANDARD 595c



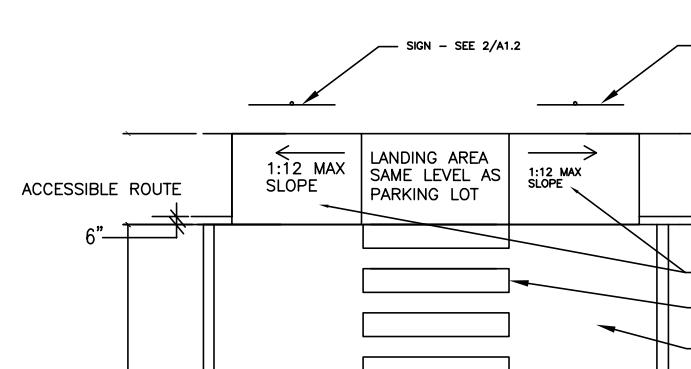
1 DISABLED ACCESSIBILITY SYMBOL

NO SCALE



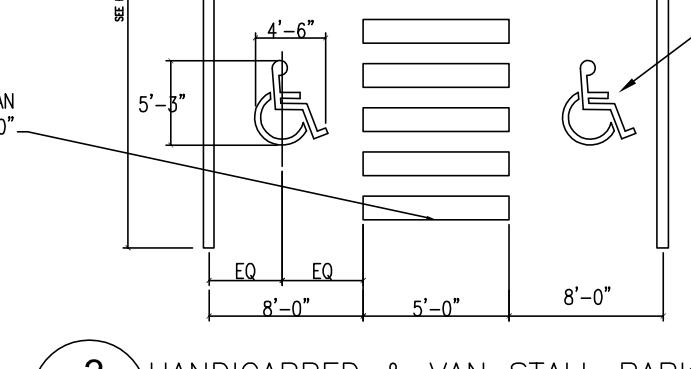
2 DISABLED PARKING SIGN

A1.1



A1.1

AT A LANDING OF A RAMP THAT IS PART OF AN ACCESSIBLE ROUTE, THE LENGTH OF THE LANDING SHALL BE 60" MINIMUM.



A1.1

SEE SHT C5.2 FOR ADDITIONAL DETAILS

BARRIER FREE REQUIREMENTS

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

ARCHITECTS

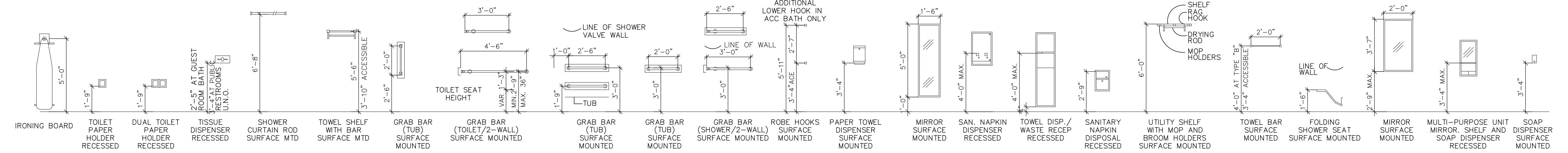
EMAIL: info@cmaarch.com
PHONE: 425-353-2888

TL-9726
REGISTERED ARCHITECT
Charles E. Morgan
CHARLES E. MORGAN
STATE OF WASHINGTON

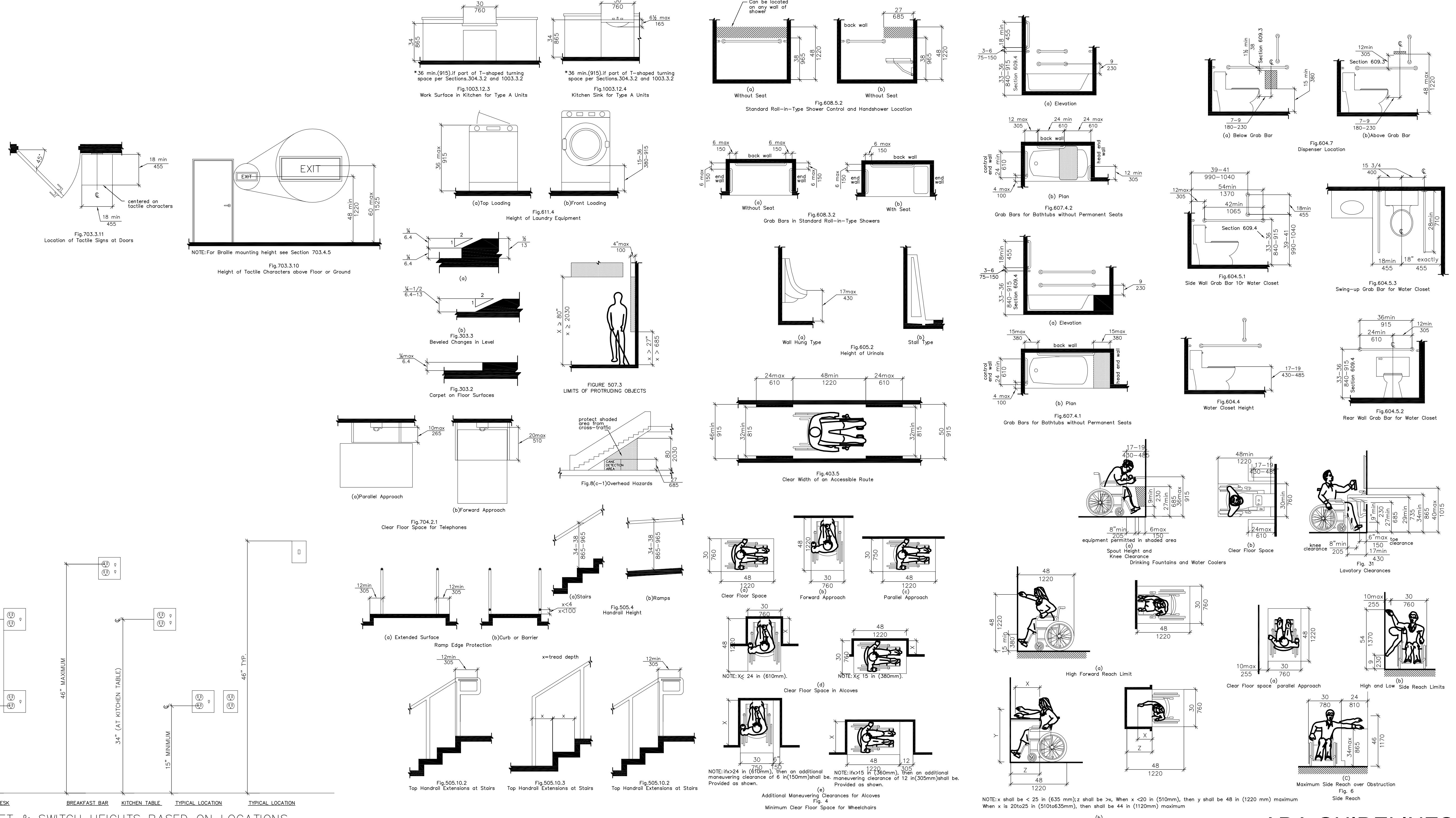
DATE 4 OCT 23
REVISION 7 MAR 24

SHEET

A0.4



NOTE: PROVIDE WOOD BLOCKING FOR ALL TOILET ACCESSORIES MOUNTED IN GYP.BD. PARTITIONS. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE IN RATED WALLS.



ELEC. OUTLET & SWITCH HEIGHTS BASED ON LOCATIONS

4 OCT 23 PERMIT SUBMITTAL
1 7 MAR 24 PERMIT RESUBMITTAL

PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

The logo for RCHITECTS is positioned on the right side of the page. It features a stylized letter 'A' composed of two intersecting lines forming a triangle. The top vertex of this triangle has a small square block, and the bottom vertex has a small circle. To the right of the 'A', the word 'RCHITECTS' is written in a bold, sans-serif font. A horizontal line is drawn underneath the word 'RCHITECTS'.

7301 BEVERLY LANE
EVERETT, WA 98203

EMAIL info@cmaarch.com
PHONE 425-353-2888

TL-9726

REGISTERED
ARCHITECT

Charles E. Morgan

CHARLES E. MORGAN

STATE OF WASHINGTON

ADA GUIDELINES & DIAGRAMS

SHEET

A0.5

NO.	LOCATION	EXTERIOR/INTERIOR	U VALUE	DOOR SCHEDULE								REMARKS				
				OPENING		DOOR				FRAME						
				WIDTH	HEIGHT	THICK.	MATERIAL	FINISH	Glass	Label	ELEV TYPE	HRDW SET	HEAD	JAMB	LABEL	FINISH
ALL DOORS IN COMMON AREAS, TYPE "A" & "B" SHALL HAVE LEVER HANDLES & 32" MIN. CLEAR OPENING																
1	UNIT 5	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN			A		WD			DOOR CLOSURE (SELF-CLOSING)
16	UNIT ENTRY - TYPE "A"	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN		20 MIN	A		WD	20 MIN		DOOR CLOSURE (SELF-CLOSING)
17	UNIT ENTRY - TYPE "B"	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN		20 MIN	A		WD	20 MIN		DOOR CLOSURE (SELF-CLOSING)
2	BATHROOM	INTERIOR		3'-0"	6'-8"	1-3/8"	HC	FAC FIN			B		WD			
3	BEDROOM	INTERIOR		3'-0"	6'-8"	1-3/8"	HC	FAC FIN			B		WD			
4	CLOSET	INTERIOR		2'-4"	6'-8"	1-3/8"	HC	FAC FIN			B		WD			
48	CLOSET	INTERIOR		3'-0"	6'-8"	1-3/8"	HC	FAC FIN			B		WD			
54	CLOSET - BI-PASS	INTERIOR		4'-0"	6'-8"	1-3/8"	HC	FAC FIN			C					HARDWARE PROVIDED BY MANUFACTURER
55	CLOSET - BI-PASS	INTERIOR		6'-0"	6'-8"	1-3/8"	HC	FAC FIN			C					HARDWARE PROVIDED BY MANUFACTURER
56	LAUNDRY - BI-FOLD	INTERIOR		5'-0"	6'-8"	1-3/8"	HC	FAC FIN			H					HARDWARE PROVIDED BY MANUFACTURER
7	LAUNDRY	INTERIOR		3'-0"	6'-8"	1-3/8"	HC	FAC FIN			B					
10	DECK	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	METAL	FAC FIN			F					
11	DECK	EXTERIOR	U.37	dbi 2'-6"	6'-8"	1-3/4"	METAL	FAC FIN			D					
I.B.C. SECTION 2406.4.3 GLAZING IN WINDOWS.																
20	LOBBY	EXTERIOR	U.77	3'-0"	7'-0"	1-3/4"	METAL	FAC FIN			E		HM			SELF-CLOSING
21	ELECTRICAL ROOM	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	METAL	FAC FIN			B		HM			SELF-CLOSING
22	STAIR #2	EXTERIOR		3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN			B		MTL			SELF-CLOSING
23	STAIR #2	EXTERIOR		3'-0"	6'-8"	1-3/4"	METAL	FAC FIN		45 MIN	B		MTL	45 MIN		SELF-CLOSING
24	MECHANICAL	EXTERIOR	U.77	3'-0"	6'-8"	1-3/4"	METAL	FAC FIN		45 MIN	B		MTL	45 MIN		SELF-CLOSING
25	LOBBY	EXTERIOR	U.37	3'-0"	6'-8"	1-3/4"	METAL	FAC FIN		45 MIN	B		MTL	45 MIN		SELF-CLOSING
26	TRASH AREA	EXTERIOR		dbi 3'-0"	6'-8"	1-3/4"	METAL	FAC FIN			J		MTL			
30	STAIR #1 & #2	INTERIOR		3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN			B		WD	20 MIN		SELF-CLOSING
31	ELEVATOR EQUIPMENT	INTERIOR		3'-0"	6'-8"	1-3/4"	SC WD	FAC FIN			B		WD	20 MIN		SELF-CLOSING
I.B.C. SECTION 2406.4.3 GLAZING IN WINDOWS.																
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION:																
1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET (0.84 M ²);																
2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR;																
3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR; AND																
4. ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.																
EXCEPTIONS:																
1. DECORATIVE GLAZING.																
2. WHERE A HORIZONTAL RAIL IS INSTALLED ON THE ACCESSIBLE SIDE(S) OF THE GLAZING 34 TO 38 INCHES (864 TO 965 MM) ABOVE THE WALKING SURFACE, THE RAIL SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT (730 NM) WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1 1/2 INCHES (38 MM) IN CROSS-SECTIONAL HEIGHT.																
3. OUTBOARD PANES IN INSULATING GLASS UNITS OR MULTIPLE GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLASS IS 25 FEET (7620 MM) OR MORE ABOVE ANY GRADE, ROOF, WALKING SURFACE OR OTHER HORIZONTAL OR SLOPED (WITHIN 45 DEGREES OF HORIZONTAL) (0.78 RAD) SURFACE ADJACENT TO THE GLASS EXTERIOR.																
I.B.C. SECTION 101.3.8.1 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2.																

ALL EXTERIOR DOORS U VALUE SHOWN PER BLDG ENVELOPE SUMMARY

ALL EXTERIOR DOORS TO HAVE KEY ENTRY

RATED DOORS TO ALSO BE SMOKE RATED PER SECTION 716.5.3.1 OF THE IBC

403.8.6.1 OUTDOOR AIR - EXHAUST FAN ONLY VENTILATION SYSTEMS SHALL PROVIDE OUTDOOR AIR THROUGH ONE OF THE FOLLOWING METHODS:

I. OUTDOOR AIR MAY BE DRAWN THROUGH AIR INLETS INSTALLED IN EXTERIOR WALLS OR WINDOWS; FOR INTERIOR SPACES WHICH HAVE OPENINGS TO THE OUTDOORS, AIR INLETS CANNOT BE USED UNLESS A TRANSFER FAN IS PROVIDED IN COMPLIANCE WITH SECTION 403.8.6.1 ITEM 3. THE AIR INLETS SHALL COMPLY WITH ALL OF THE FOLLOWING:

- a. INLETS SHALL HAVE CONTROLLABLE, SECURE OPENINGS IN THE THERMAL PROPERTIES OF THE BUILDING ENVELOPE.
- b. INLETS SHALL BE ACCESSIBLE TO OCCUPANTS.
- c. INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY INSECTS, LEAVES, OR OTHER MATERIAL.
- d. INLETS SHALL PROVIDE NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR REQUIRED BY TABLE 403.3 OR TABLE 403.8.1.
- e. ANY INLET OR COMBINATION OF INLET WHICH PROVIDE 10 CFM AT 10 PASCALS AS DETERMINED BY THE HOME VENTILATION INSTITUTE AIR FLOW TEST STANDARD (HVI 200 (NOVEMBER 1966)) ARE DEEMED EQUIVALENT TO 4 SQUARE INCHES OF NET FREE AREA.

- f. EACH OCCUPIABLE SPACE SHALL HAVE A MINIMUM OF ONE AIR INLET THAT HAS A MINIMUM OF 4 SQUARE INCHES OF NET FREE AREA.

TEMPERED GLASS

GLASS DOORS & PANELS IN LOCATIONS SUBJECT TO HUMAN IMPACT OR CLOSER THAN 24" FROM THE ARCH OF DOORS SHALL BE "TEMPERED GLASS" PER SEC 2406

SAFETY GLASS REQUIREMENTS

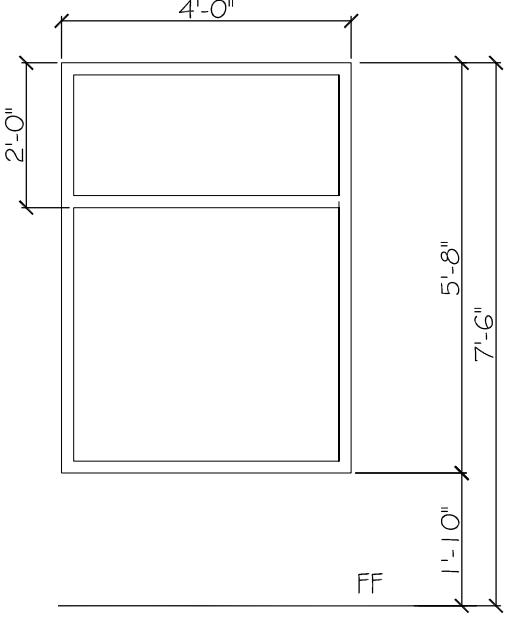
SAFETY GLAZING SHALL BE USED WITHIN 5' OF THE BOTTOM AND TOP OF THE STAIRWAYS, WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE PER SEC 2406.4.2

SAFETY GLAZING SHALL BE USED FOR EACH SIDELIGHT WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE PER SECTION 2406.4

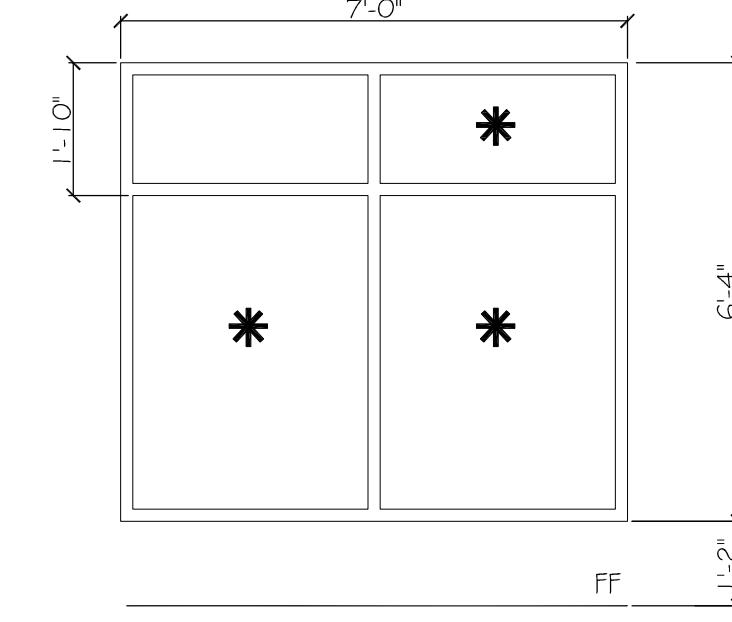
I.B.C. SECTION 101.3.8.1 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2.

WINDOW SCHEDULE

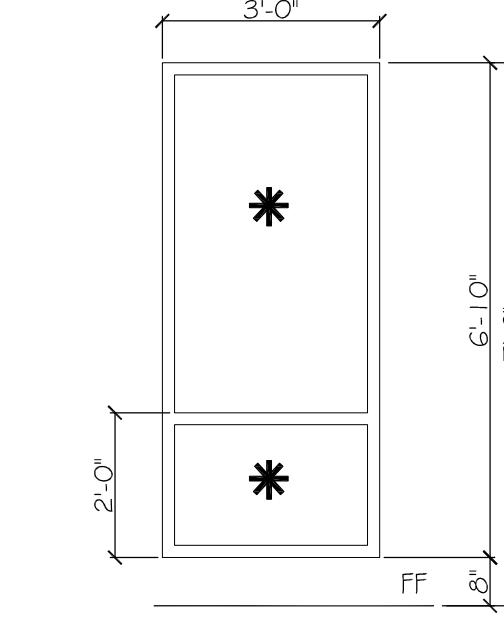
MARK	LOCATION	QUANTITY	SIZE		FRAME	TYPE	REMARKS
			WIDTH	HEIGHT			
A	LIVING & BEDROOM		6'-6"	6'-6"	VINYL	FIXED & HORIZONTAL SLIDER	U.30 MAX.
B	LIVING & BEDROOM		3'-0"	6'-6"	VINYL	FIXED	U.30 MAX.
C	LIVING & BEDROOM		3'-0"	6'-6"	VINYL	FIXED	U.30 MAX.
D	LIVING		6'-0"	6'-6"	VINYL	FIXED & HORIZONTAL SLIDER	U.30 MAX.
E	LIVING		2'-8"	6'-6"	VINYL	FIXED	U.30 MAX.



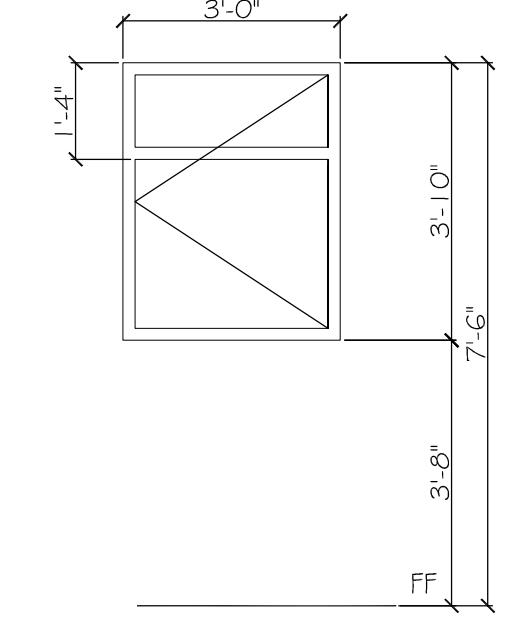
K VINYL FRAME - FIXED
TEMPERED WHERE REQUIRED



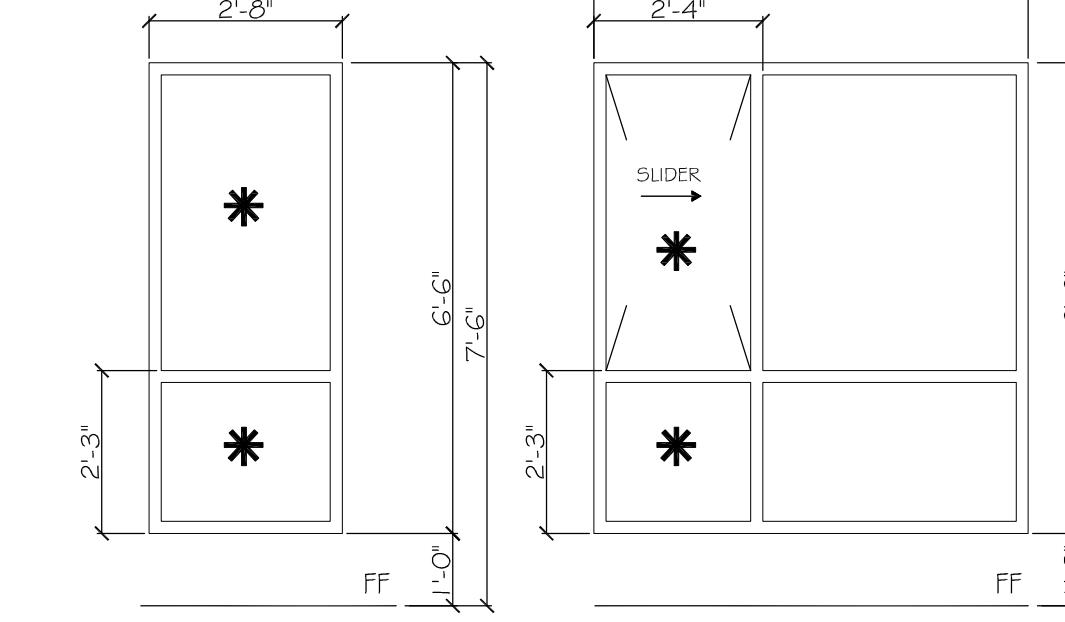
J VINYL FRAME - FIXED



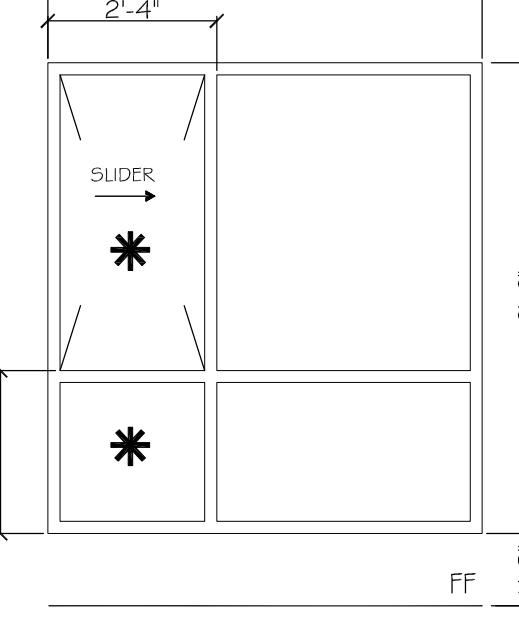
H VINYL FRAME - FIXED



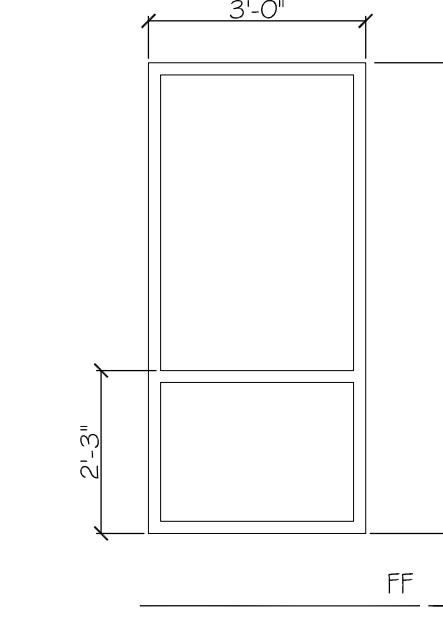
F VINYL FRAME - CSMT



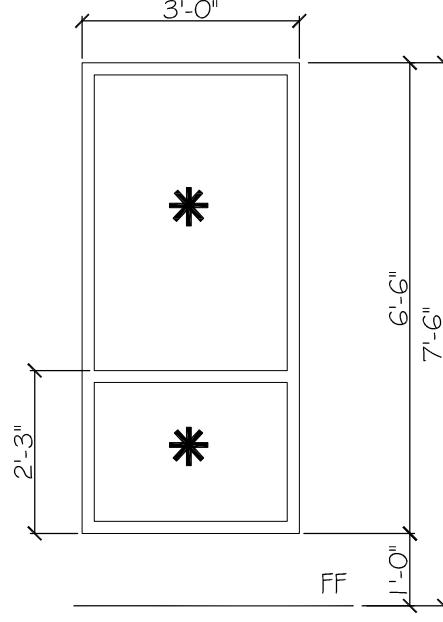
E VINYL FRAME - FIXED



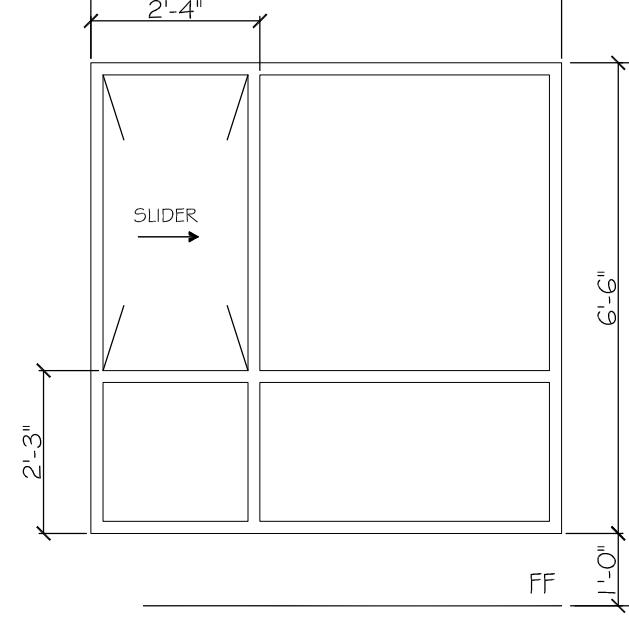
D VINYL FRAME - FIXED & SLIDER
TEMPERED WHERE REQUIRED



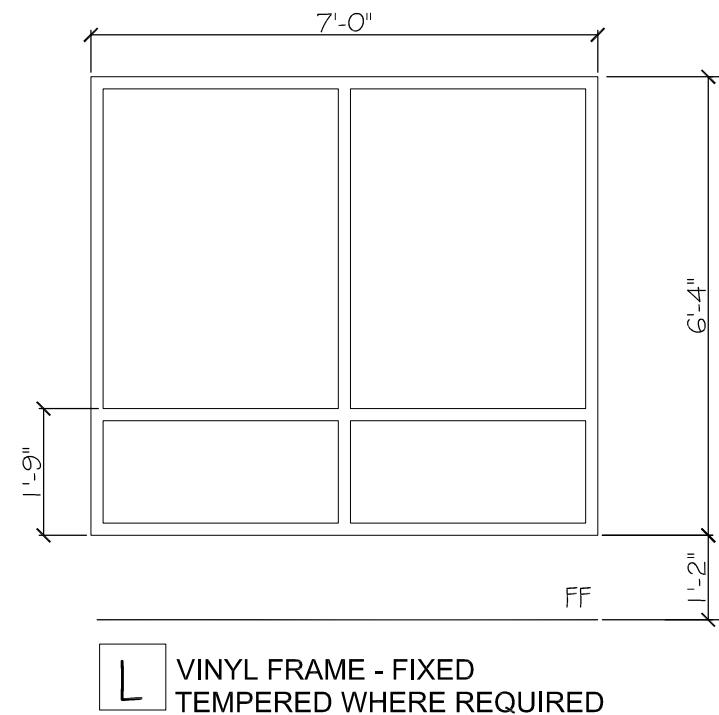
C VINYL FRAME - FIXED



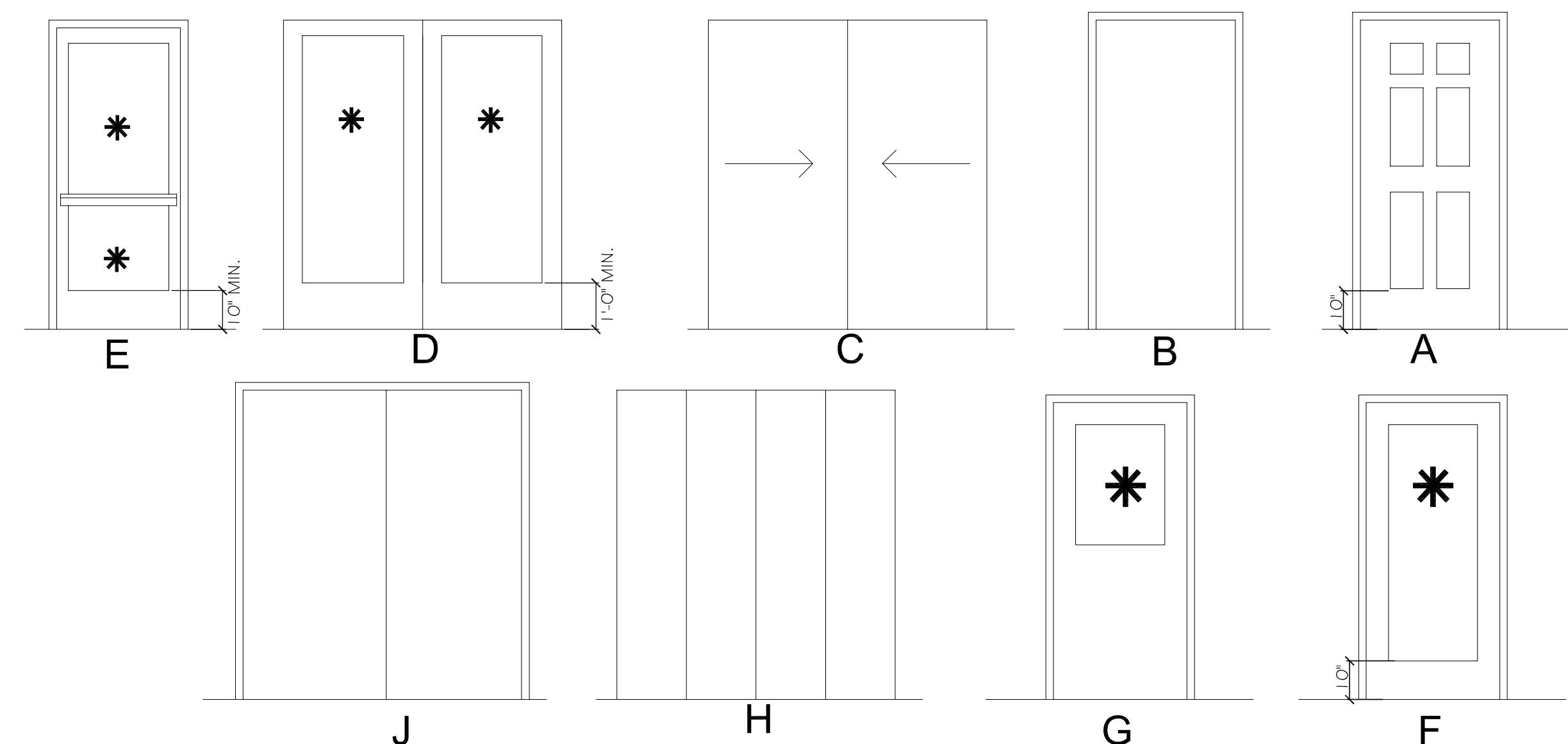
B VINYL FRAME - FIXED



A VINYL FRAME - FIXED & SLIDER
TEMPERED WHERE REQUIRED



L VINYL FRAME - FIXED
TEMPERED WHERE REQUIRED



INDICATES SAFETY GLAZING
AS PER SEC 2406

STEPS
1 - APPLY SILL FLASHING
2 - APPLY JAMB FLASHING
3 - APPLY HEAD FLASHING
4 - APPLY BEAD OF SEALANT
AT BACK OF WINDOW
FLANGE & WINDOW SET
5 - APPLY BEAD OF SEALANT
AT SIDE JAMBS & APPLY
6' WIDE JAMB FLASHING
6 - APPLY BEAD OF SEALANT
AT BACK OF
6' WIDE HEAD FLASHING
7 - IN WATER SHEDDING FASHION
STARTING AT THE BASE OF
THE WALL & WORKING TOWARDS
THE TOP, INSTALL THE WRB TO
THE FACE OF THE SHEATHING.
TUCK WRB UNDER SILL FLASHING
AND OVER JAMB & HEAD FLASHING
8 - WITH SHEATHING TAPE CONNECT
THE WRB TO THE FLASHING.
(ALL FOUR SIDES)

⑤ JAMB FLASHING
EXTEND JAMB FLASHING
TWO INCHES SILL
FLASHING. EMBED JAMB
FLASHING 6-1/2" ABOVE
ROUGH OPENINGS AT
HEAD. APPLY TAPE AT
CORNERS TO TEMPORARILY
HOLD FLASHING IN PLACE
UNTIL WRB IS APPLIED.

④ SEAL THE WINDOW FRAME TO
OPENING. APPLY A 3/8" NOM.
DIA. BEAD TO THE BACKSIDE
(INTERIOR) OF THE WINDOW
FLANGE, IN LINE WITH ANY
PRE-PUNCHED HOLES OR SLOTS.

③ HEAD & JAMB FLASHING
APPLY CONT. SEAL TO THE MOUNTING
FLANGES AT THE TOP (HEAD)
AND SIDES (JAMBS) OF WINDOW. EXTEND
SEALANT AT JAMBS 6-1/2" ABOVE
THE R.O. AT HEAD EMBED JAMB
FLASHING INTO SEALANT AND
FASTEN IN PLACE. (FLASHING
FLASHING INTO SEALANT AND
FASTEN IN PLACE.)

SECTION A
THROUGH WINDOW JAMB

FULL WRAP FLASHING
SEALANT BEAD
BEHIND MOUNTING
FLANGE
FLASHING
SEALANT BEAD BETWEEN
FLASHING AND MOUNTING
FLANGE

⑥ HEAD FLASHING
EMBED BOTTOM OF THE HEAD FLASHING AGAINST
THE PREVIOUSLY APPLIED SEALANT (FLASHING GOES
OVER SEALANT). EXTEND HEAD FLASHING BEYOND
EACH JAMB FLASHING. FASTEN IN PLACE.

JAMB & HEAD FLASHING,
1-1/2 INCHES WIDE.

FLASHING AT HEAD
EXTENDS 1" BEYOND
JAMB FLASHING

FLASHING
SEALANT
SEALANT

SEALANT
SEALANT

INTERIOR VIEW
TOP LEFT CORNER OF WINDOW

WINDOW INSTALLATION

FULL FLASHING IS APPLIED BEFORE THE WEATHER RESISTANT BARRIER (WRB), NEXT THE WINDOW IS IN
THEN FLASHING IS APPLIED OVER THE FACE OF THE MOUNTING FLANGE AND THE WRB.

WINDOW AND DOOR ELEVATIONS

4 OCT 23 PERMIT SUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

CHARLES MORGAN & ASSOCIATES, LLC
RCHITECTS

7301 BEVERLY LANE
EVERETT, WA 98203

EMAIL: info@cmarch.com
PHONE: 425-353-2888

TL-9726
REGISTERED ARCHITECT
Charles E. Morgan
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE 4 OCT 23
REVISION
A0.7

SHEET

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	WALLS		CEILINGS		REMARKS
				MATERIALS	FINISH	MATERIALS	FINISH	
				CARPET W/PAD SHEET VINYL WATERPROOF MEMBRANE BRUSHED CONCRETE CONCRETE SLAB TILE PRE-FINISHED W/C (2.25") TO MATCH DOORS				
	AIR B&B UNITS							
	ROOM			•		•	•	
	BATH			•		•	•	
	UNITS 2ND & 3RD FLOOR							
	LIVING/DINING			•		•	•	
	DINING			•		•	•	
	BATH			•		•	•	
	BEDROOM			•		•	•	
	KITCHEN			•		•	•	
	HALLS			•		•	•	
	WASHER/ DRYER CLOSET			•		•	•	
	DECK							
	PATIO/ 1ST FLOOR			•		•	•	
	VESTIBULE/ LOBBY							
	STAIRWAYS			•		•	•	
	ELECTRICAL ROOM			•		•	•	
	CORRIDORS			•		•	•	

ROOM FINISH SCHEDULE

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

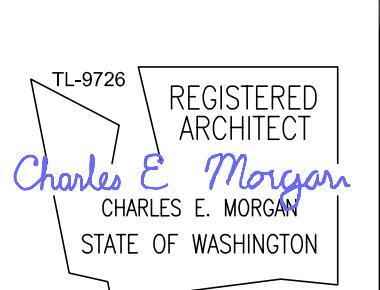
PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

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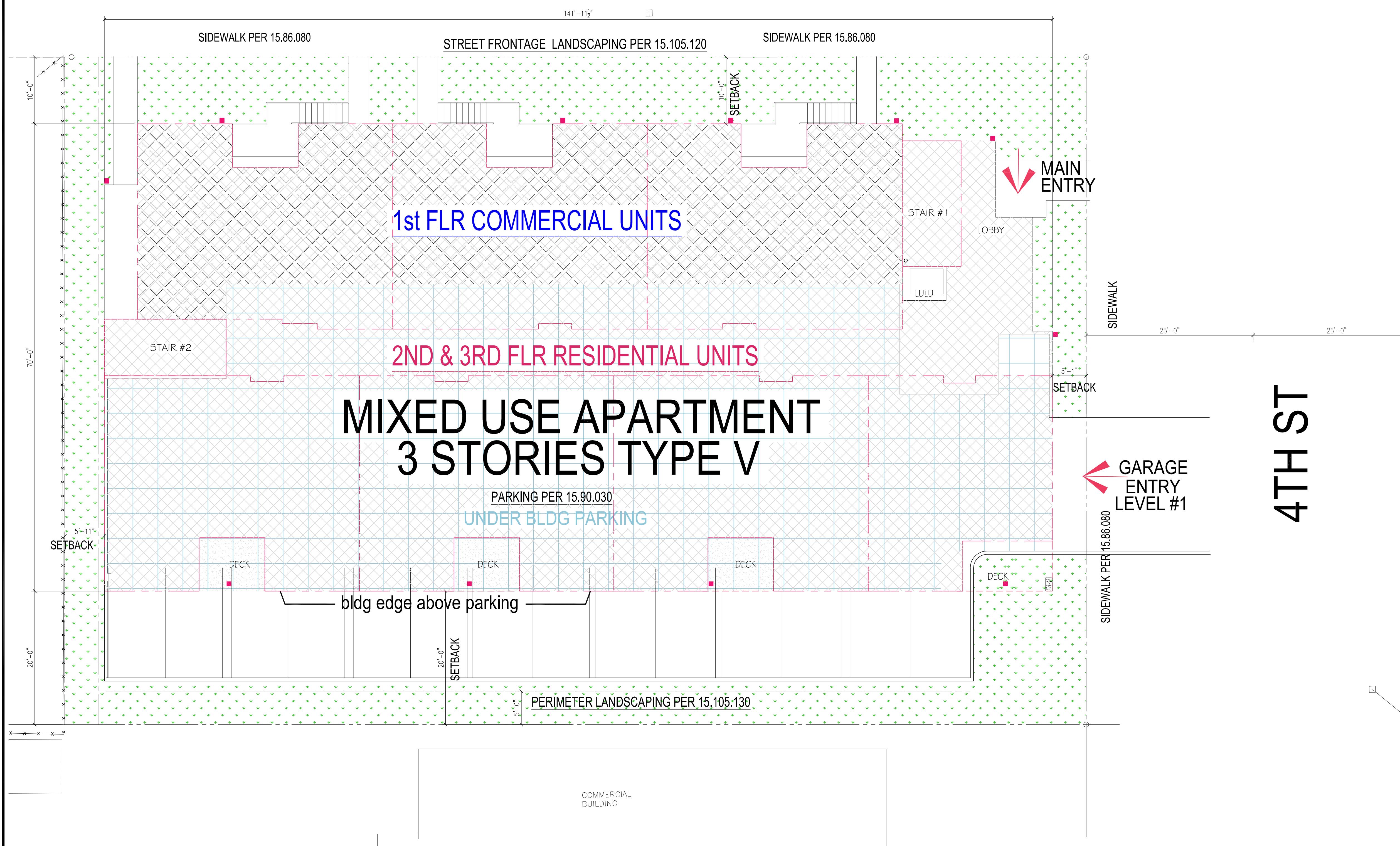
EMAIL: info@cmarch.com
PHONE: 425-353-2888



DATE 4 OCT 23
REVISION ▲ 7 MAR 24

SHEET
A0.8

CENTER ST



PROJECT DATA

LOT AREA	15,296 SQ/FT .35 ACRE
PARCEL	P74143
ZONING	COMMERCIAL
MAX BUILDING HEIGHT	30' ABOVE @ 1 FOOT ABOVE FLOOD PLAIN
CONSTRUCTION TYPE	3 STORIES TYPE V-A
FIRE SPRINKLER	NEPA-13

ALLOWABLE USES PER 15.35.020

1ST FLOOR 15.35.020 (10) LODGING ESTABLISHMENT & 15.35.030 (2) DWELLING UNITS
2ND FLOOR 15.35.030 (2) DWELLING UNITS
3RD FLOOR 15.35.030 (2) DWELLING UNITS

<u>MAX FLOOR AREA (NO MORE THAN 2X THE LOT AREA)</u>	
LOT AREA	15,296 SQ/FT
MAXIMUM FLOOR AREA	30,592 SQ/FT
1ST FLOOR - FLOOR AREA	3,558 SQ/FT
- UNDER BLDG PARKING AREA	5,787 SQ/FT
2ND FLOOR - FLOOR AREA	9,317 SQ/FT
3RD FLOOR - FLOOR AREA	9,317 SQ/FT
TOTAL BUILDING AREA	28,125 SQ/FT

MAX LOT COVERAGE (MIN 80% OF LOT)

LOT AREA	15,296 SQ/FT
MAXIMUM LOT COVERAGE	12,236 SQ/FT
LOT COVERAGE PROVIDED (77%)	11,768 SQ/FT

LANDSCAPING AREA (MIN 20% OF LOT)

LOT AREA	15,296 SQ/FT
MINIMUM LANDSCAPE AREA	3,059 SQ/FT
LANDSCAPE AREA PROVIDED	3,082 SQ/FT

PARKING PROVIDED - ONSITE	
FULL SIZE STALLS	10
COMPACT STALLS	1
ADA STALLS (INCL. 1 VAN)	2
TOTAL	13

PARKING REQUIRED - ONSITE	
6 LODGING UNITS	6
14 DWELLING UNITS (>1,200SQ/FT)	14
TOTAL REQUIRED STALLS	20

SETBACKS	
CENTER ST.	5'
NORTH 4TH ST.	5'
WEST SIDE YARD	5'
SOUTH SIDE YARD	5'

IBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT	
R OCCUPANCY	TYPE V-A 70'
S OCCUPANCY	TYPE V-A 70'

IBC TABLE 504.4 ALLOWABLE NO. OF STORIES ABOVE GRADE PLANE	
------------------------------------------------------------	--

R-1 & R-2 TYPE V-A 4 STORIES
S-2 TYPE V-A 5 STORIES

IBC TABLE 506.2 ALLOWABLE AREA WITH SPRINKLER (NFPA 13) TYPE V-A

R-1 & R-2 TYPE V-A 36,000 SQ/FT

IBC 506.2.3 ALLOWABLE BUILDING AREA

R 2
Aa 12,6000 /3 42,000
At 36,000
NS 12,000
If 0.5
Sa 3
FORMULA: 126,000 TOTAL ALLOWABLE BUI

A black and white compass rose centered on the page. It features a large, bold 'N' at the top, a large 'S' at the bottom, a large 'E' on the right, and a large 'W' on the left. Between these major points are four smaller, thin-lined points representing NE, SE, SW, and NW.

SITE PLAN

SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

CHIEN-LEEL MORGAN & KEE



RCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

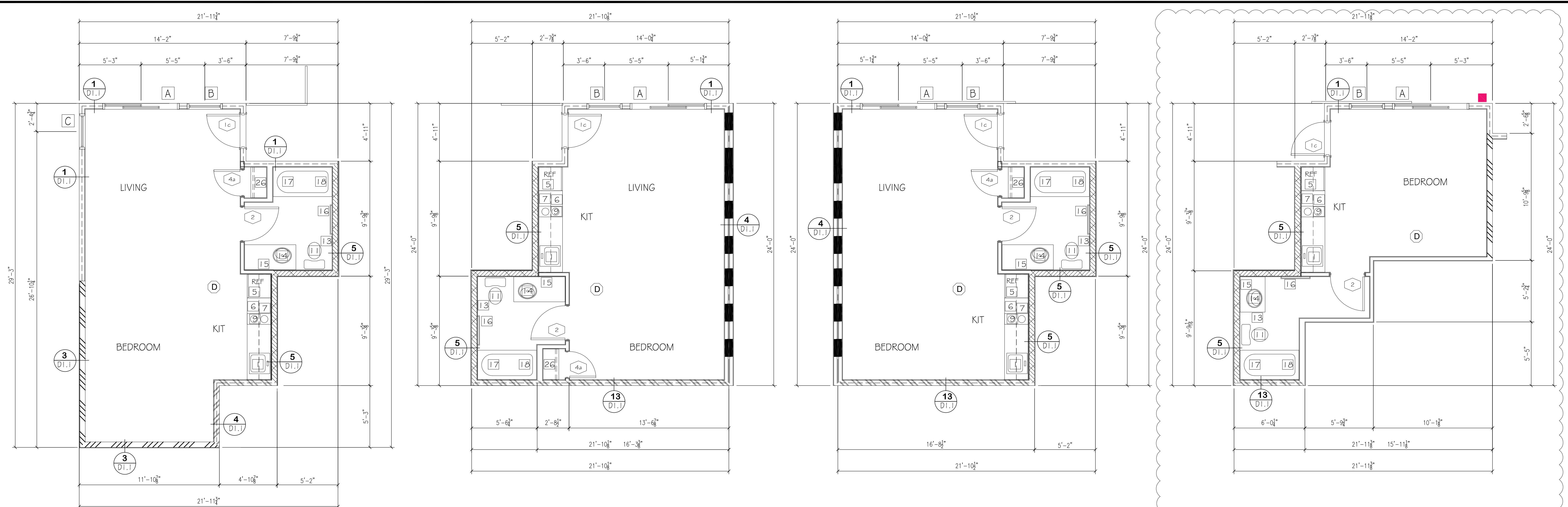
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REGISTERED
ARCHITECT

Charles E. Morgan

CHARLES E. MORGAN
STATE OF WASHINGTON

A1.1



UNIT "B&B-4"
(SLEEPING UNIT)

496 SQ/FT
1 UNIT
DECK - 56 SQ/FT
UNIT # 106

UNIT "B&B-3"
(SLEEPING UNIT)

433 SQ/FT
2 UNIT
DECK - 56 SQ/FT
UNITS # 103 & 105

UNIT "B&B-2"
(SLEEPING UNIT)

433 SQ/FT
2 UNIT
DECK - 52 SQ/FT
UNITS # 102 & 104

UNIT "B&B-1"
(SLEEPING UNIT)

296 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 101

SLEEPING UNITS EXEMPT FROM COMPLYING IBC CHAPTER 11 AND WITH A117.1-2009 ACCESSIBILITY.
ALL DOORS WITHIN THE SLEEPING UNIT ARE REQUIRED TO HAVE A CLEAR WIDTH OF 32".
PROVIDE COUNTER TOP MICROWAVE FOR SLEEPING UNITS

NOTE: ALL DOORS TO BE 3'-0" X 6'-8".
UNIT ENTRY DOORS TO BE 20 MIN RATED
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK.
ALL HARDWARE TO HAVE LEVER LOCKSETS

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR.
NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
NOTE: PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

NOTE: ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS: TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
OUTLET TO THE FINISH FLOOR.
COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO
SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME w/ACCESSIBLE CONTROLS
WINDOWS W/ 2.0 "U" FACTOR & 40 SHGC

LEGEND	
■	WALL TYPES AS PER RAI / SHEET
■	STANDARD WALL (SEE SHT RAI.1 / #3)
■	CORRIDOR WALL (SEE SHT RAI.1 / #4)
■	UNIT PARTITION WALL (SEE SHT RAI.1 / #5)
■	EXTERIOR WALL (SEE SHT RAI.1 / #1)
■	2 HR WALL - GENERIC (SEE SHT RAI.2 / #6)
■	2 HR WALL - (STC 50) (SEE SHT RAI.2 / #20)
■	2 HR EXTERIOR WALL (SEE SHT RAI.2 / #19)
■	SMOKE/CARBON MONOXIDE DETECTOR

STUDIO "B&B-1", "B&B-2", "B&B-3" & "B&B-4"
TYPICAL UNIT

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

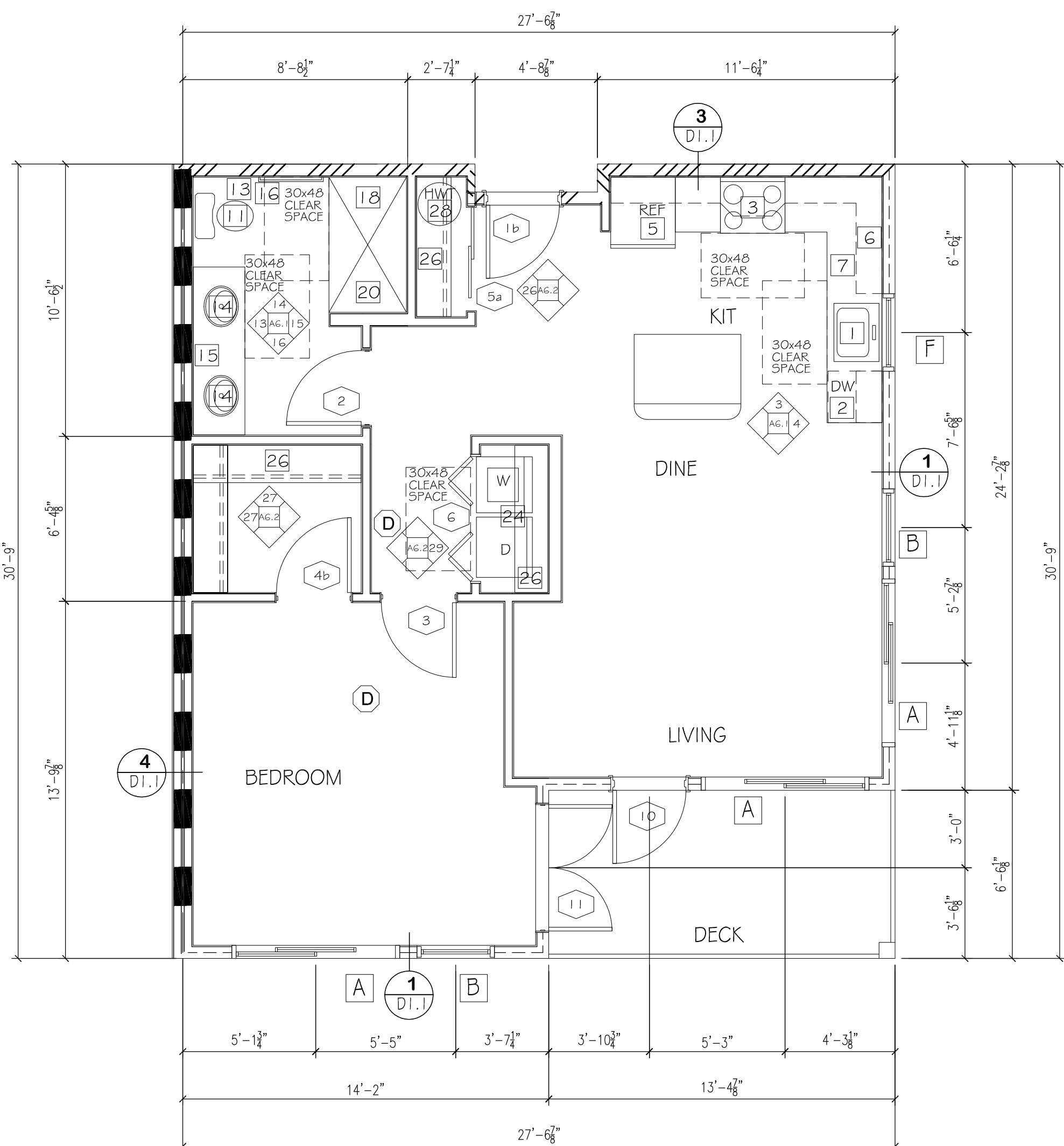
7301 BEVERLY LANE
EVERETT, WA 98203

EMAIL: info@cmarch.com
PHONE: 425-353-2888

TL-9726
REGISTERED
ARCHITECT
Charles E. Morgan
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	7 MAR 24

A2.1



I BEDROOM "B"
(TYPE "B" UNIT)
755 SQ/FT
1 UNIT
DECK - 87 SQ/FT
UNIT # 301

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG.1 INTERIOR ELEVATIONS FOR LOCATION
OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
OF WATER CLOSETS AND TUB CONTROLS

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG.1.
ALL TOILETS SHALL BE CENTERED EXACTLY 18 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS.
ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE.

AIR INLETS, WINDOW TRickle VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR, MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC
403.6.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48".

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 1/2", WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A17.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 1/2", WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A17.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

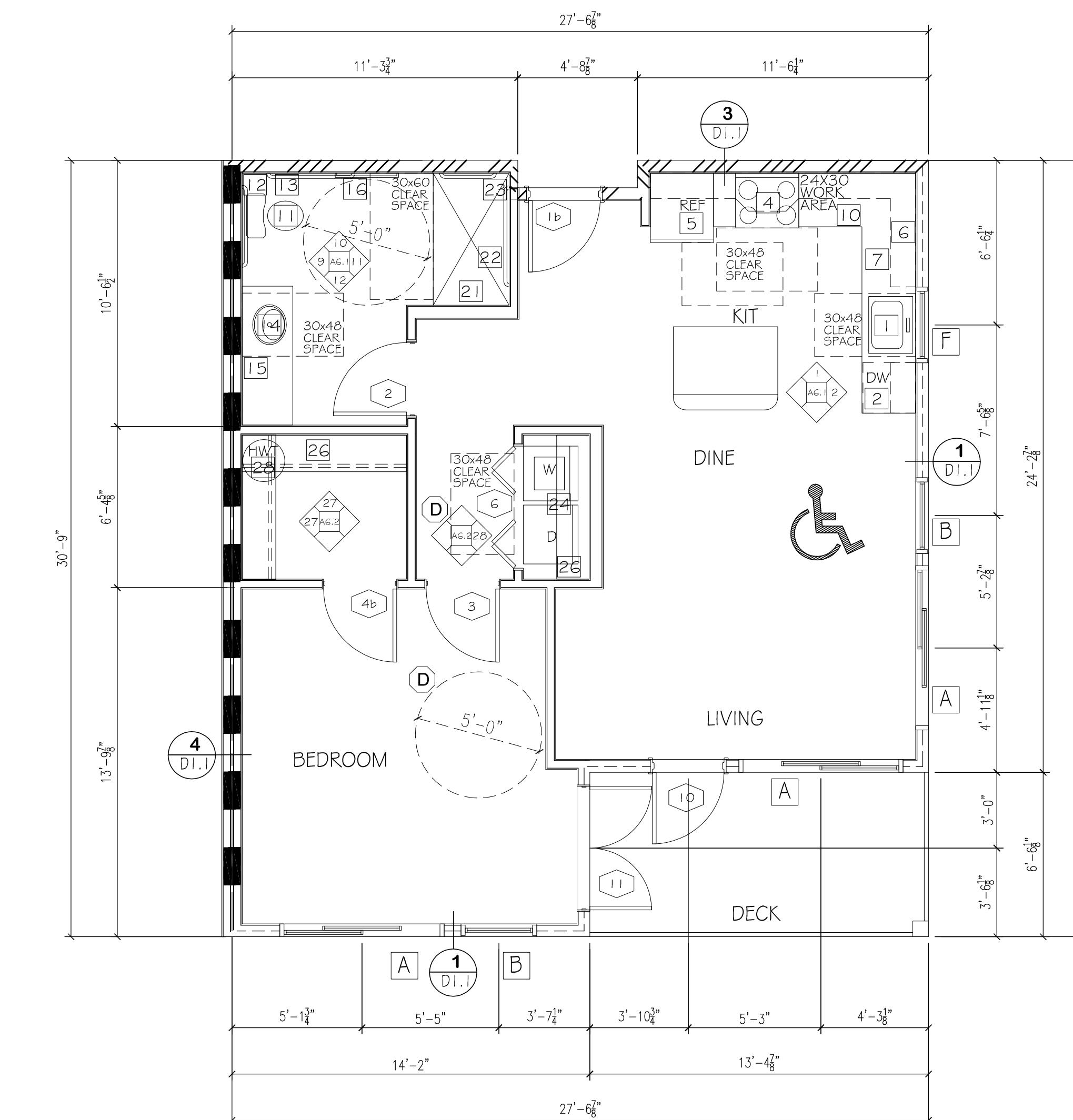
OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.



I BEDROOM "A"
(TYPE "A" UNIT)
755 SQ/FT
1 UNIT
DECK - 87 SQ/FT
UNIT # 201

SHEET NOTES

1 SELF-RIMMING STAINLESS STEEL SINK, SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS

2 BUILT-IN DISHWASHER, ENERGY STAR

3 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE

4 30" ELECTRIC RANGE WITH HOOD FAN ABOVE

5 REFRIGERATOR SPACE

6 PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW

7 LINE OF CABINETS ABOVE

8 PONY WALL

9 COOKTOP

10 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW

11 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS

12 GRAB BARS FOR WATER CLOSET

13 SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF TO TOP MAX 33" AFF

14 LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET

15 SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY

16 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR MINIMUM 36" AFF TO CENTER OF FAUCET; MOUNT 18" AFF TO CENTER OF FAUCET @ 48" AFF

17 TUB/SHOWER COMBO WITH PLASTIC LAMINATE SURROUND; TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD

18 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND

19 FURR WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS

20 5" SHOWER (INSIDE) CLEAR 36" X 60" MIN); PROVIDE CURTAIN ROD

21 ADA 1.2" ROLL-IN SHOWER WITH SEAT

22 SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXED/SHOWER HEAD OR AS A HAND HELD SHOWER

23 GRAB BARS FOR ROLL-IN SHOWER

24 WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR

25 COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR

26 1 - 12" WIRE SHELF & POLE

27 5 - 12" WIRE SHELVES

28 HOTWATER TANK

NOTE: ALL DOORS TO BE 3'-0" X 8'-0".
UNIT ENTRY DOORS TO BE 20 MIN RATE
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK.
ALL HARDWARE TO HAVE LEVER LOCKSETS.

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1
A MIFANG FOR VISUALLY IMPAIRED A VISITOR AND A PERSON WITH A DISABILITY.
ENTRANCE DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR.

NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.

NOTE: PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS

ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST OUTLET TO THE FINISH FLOOR.

CENTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO HIGHEST CENTER TOP OUTLET.

SMITHIES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.

KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME w/ACCESSIBLE CONTROLS

WINDOWS W. 28" U" FACTOR & .40 SHGC

LEGEND

- 1 WINDOW INDICATOR
- 2 DOOR INDICATOR
- 3 SOFFITS FOR DUCTS
- 4 DETAIL INDICATOR (SEE D1, SHTS)
- 5 INTERIOR ELEVATIONS (SEE SHT AG.1)
- 6 SMOKE/CARBON MONOXIDE DETECTOR

4 OCT 23 PERMIT SUBMITTAL
△ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
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DATE 4 OCT 23
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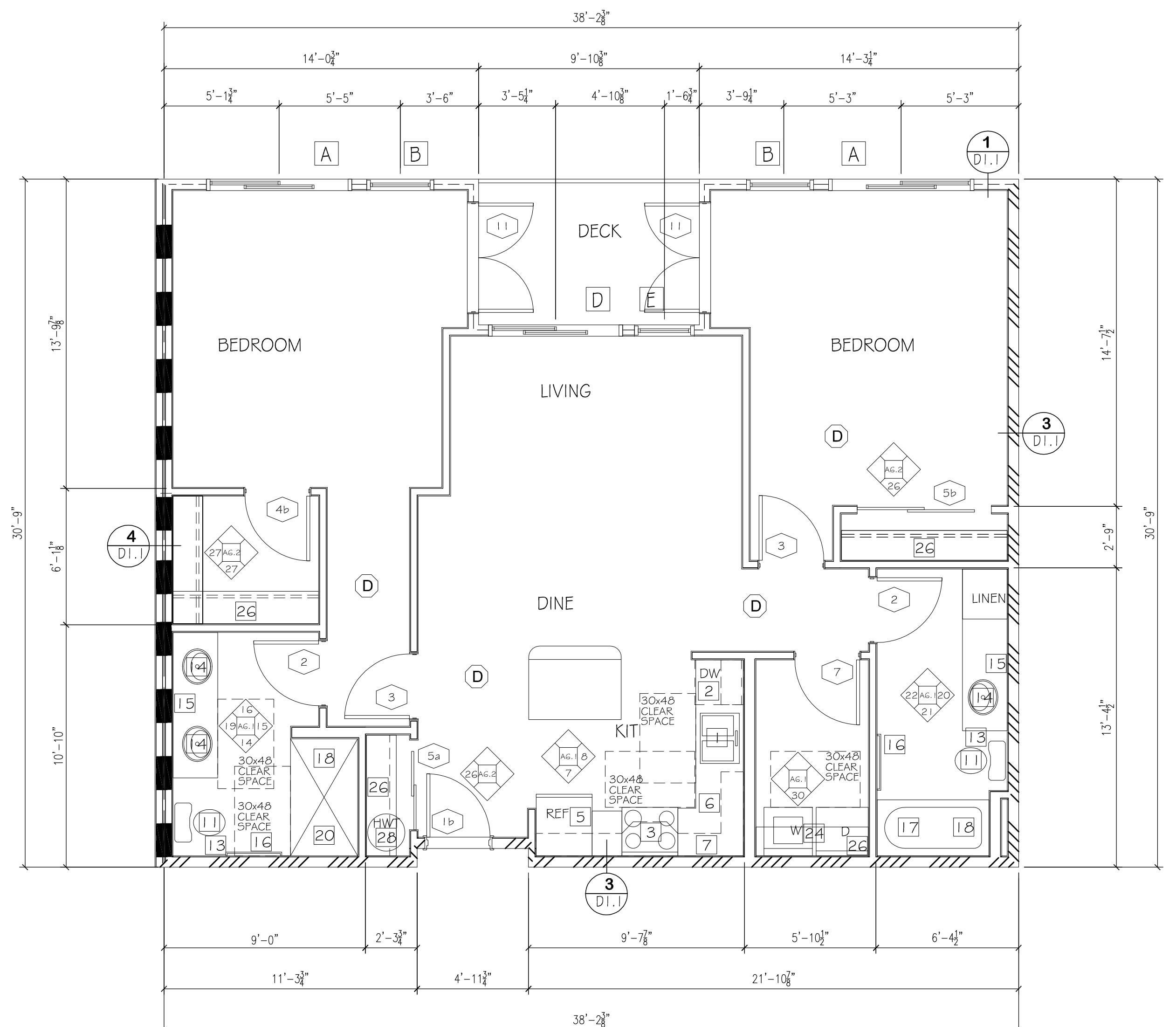
SHEET

A2.2

1 BR "A" & "B"
TYPICAL UNIT

SCALE 1/4" = 1'-0"

TL-9726
REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON



2 BEDROOM "B1"

(TYPE "B" UNIT)
 1,105 SQ/FT 9,945 SQ/FT
 9 UNIT
 DECK - 64 SQ/FT
 UNITS # 202,203,204 # 206
 302,303,304,306 #307

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
 PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET A6.1 INTERIOR ELEVATIONS FOR LOCATION
 OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
 OF WATER CLOSETS AND TUB CONTROLS

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET A6.1.
 ALL TOILETS SHALL BE CENTERED EXACTLY 18 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS.
 ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE

AIR INLETS, WINDOW TRickle VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR. MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSECO 403.3.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICCANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICCANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

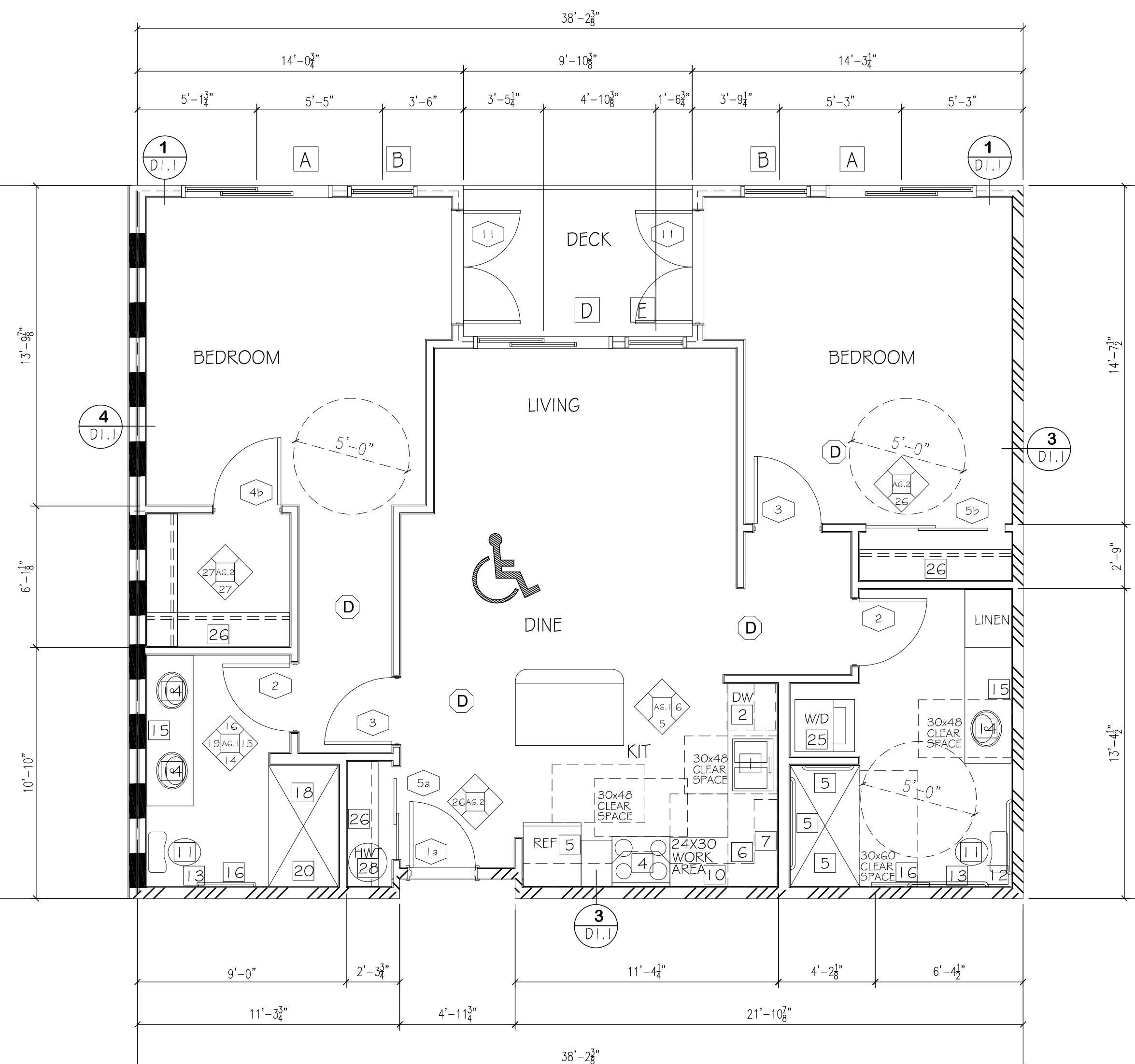
OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.



2 BEDROOM "A"

(TYPE "A" UNIT)
 1,105 SQ/FT
 1 UNIT
 DECK - 64 SQ/FT
 UNIT # 207

SHEET NOTES

1 SELF RINING STAINLESS STEEL SINK, SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS

BUILT-IN DISHWASHER, ENERGY STAR

3 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE

4 30" ELECTRIC RANGE WITH HOOD FAUCET ABOVE

5 REFRIGERATOR SPACE

6 PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW LINE OF CABINETS ABOVE

7 PONY WALL

8 COOKTOP

10 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW

11 18 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS

12 GRAB BARS FOR WATER CLOSET

13 SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF

14 LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET

15 SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY

16 30" TOWEL BAR; PROVIDED SOLID PACKING IN WALL; MOUNT CENTER OF BAR MAX. 41" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF

17 FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND; TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD

18 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND

19 FURK WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS

20 5" SHOWER (INSIDE CLEAR 36" X 60" MIN); PROVIDE CURTAIN ROD

21 ADA 5" ROLL-IN SHOWER WITH SEAT

22 SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER

23 GRAB BARS FOR ROLL-IN SHOWER

24 WASHER & DRYER W/ VENT TO THE EXTERIOR (60 GPM), ENERGY STAR

25 COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (60 GPM), ENERGY STAR

26 1 - 12" WIRE SHELF & POLE

27 5 - 12" WIRE SHELVES

28 HOTWATER TANK

NOTE: ALL DOORS TO BE 3' 0" X 8' 0"
 UNIT ENTRY DOORS TO BE 20 MIN RATED
 AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK
 ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1
 A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT
 ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR
 NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
 PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
 ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICCANSI A117.1-2009

OUTLET TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
 OUTLET TO THE FINISHED FLOOR. COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO HIGHEST OUTLET.

SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
 KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
 SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ACCESSIBLE CONTROLS
 WINDOWS W/28" WATOR & .40 SHGC

LEGEND	
STANDARD WALL (THREE SHT RA.1 #5)	A WINDOW INDICATOR
CORRIDOR WALL (SEE SHT RA.1 #4)	DOOR INDICATOR
UNIT PARTITION WALL (SEE SHT RA.1 #5)	SOFFITS FOR DUCTS
EXTERIOR WALL (SEE SHT RA.1 #1)	DETAILS INDICATOR (SEE D1-SHTS)
2 HR WALL - (STC 50) (SEE SHT RA.1 #20)	INTERIOR ELEVATIONS (SEE SHT A6.1)
2 HR EXTERIOR WALL (SEE SHT RA.1 #19)	SMOKE/CARBON MONOXIDE DETECTOR

4 OCT 23 PERMIT SUBMITTAL
 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
 THE TALMON
 LOCATION
 CENTER STREET, LA CONNER, WA
 DEVELOPER
 KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
 EVERETT, WA 98203

EMAIL: info@cmarch.com
 PHONE: 425-353-2888

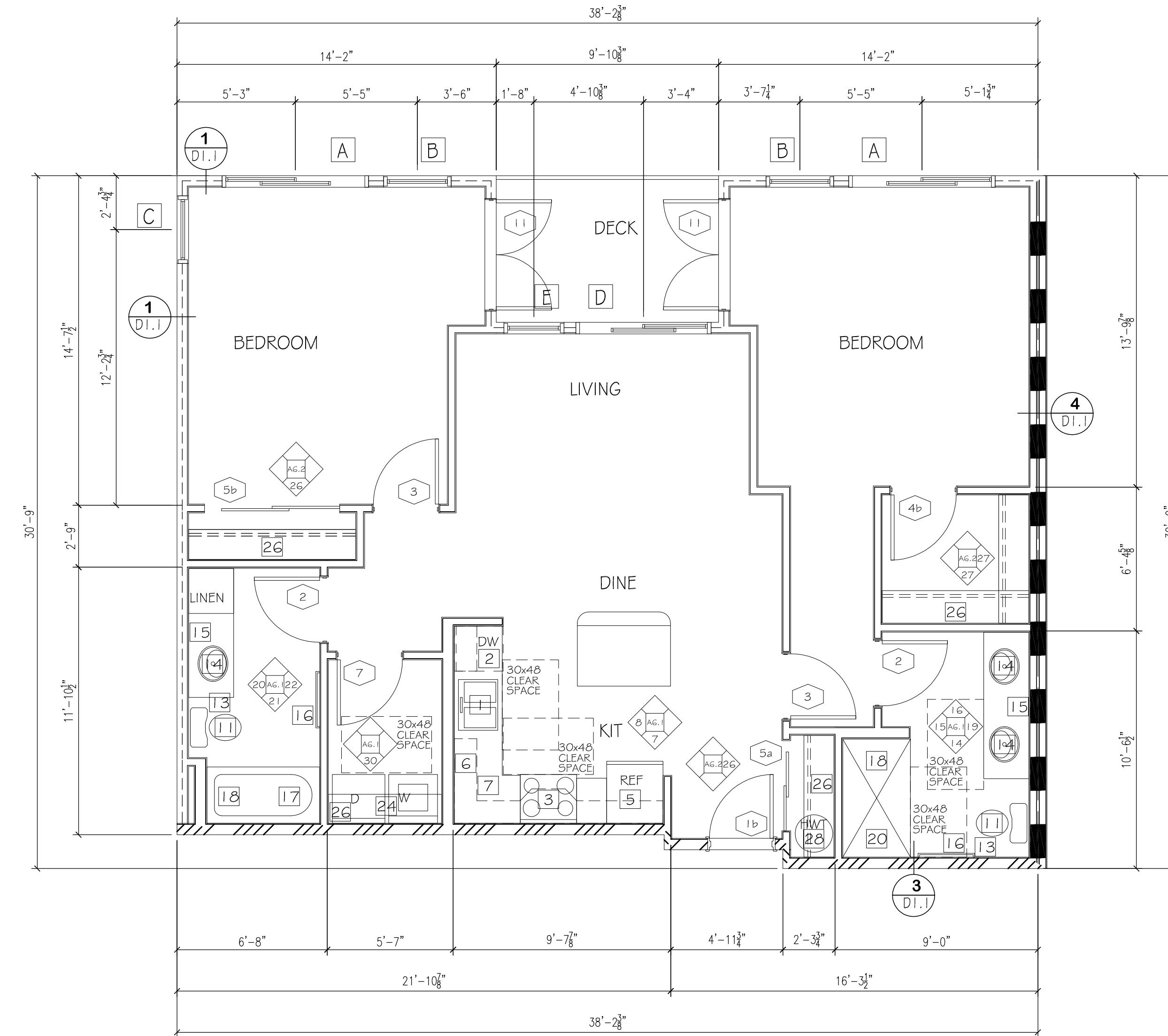
TL-9726
 REGISTERED
 ARCHITECT
 Charles E. Morgan
 CHARLES E. MORGAN
 STATE OF WASHINGTON

DATE 4 OCT 23
 REVISION 7 MAR 24
 SHEET A2.3

2 BR "A" & "B1"
 TYPICAL UNIT

SCALE 1/4" = 1'-0"

A2.3



2 BEDROOM "B2"

(TYPE "B" UNIT)

1,071 SQ/FT 2,142 SQ/FT

2 UNIT

DECK - 64 SQ/FT

UNITS # 205 & 305

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG-1. INTERIOR ELEVATIONS FOR LOCATION
OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
OF WATER CLOSETS AND TUB CONTROLS

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG-1.
ALL TOILETS SHALL BE CENTERED EXACTLY 18 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS.

ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE

AIR INLETS, WINDOW TRickle VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR, MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC 403.5.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "U" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "U" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.

SHEET NOTES

1 SELF-RIMMING STAINLESS STEEL SINK- SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS

2 BUILT-IN DISHWASHER, ENERGY STAR

3 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE

4 30" ELECTRIC RANGE WITH HOOD FAN ABOVE

5 REFRIGERATOR SPACE

6 PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW

7 LINE OF CABINETS ABOVE

8 PONY WALL

9 COOKTOP

10 30x24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW

11 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS

12 GRAB BARS FOR WATER CLOSET

13 SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF

14 LAVATORY: SINGLE LEVER 1.5 GPM FAUCET AND CABINET

15 SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANTY

16 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR MAX. 41 1/2" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF

17 FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD

18 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND

19 FURR WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS

20 5' SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD

21 ADA 4' ROLL-IN SHOWER WITH SEAT

22 SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXED-SHOWER HEAD OR AS A HAND HELD SHOWER

23 GRAB BARS FOR ROLL-IN SHOWER

24 WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR

25 COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR

26 1 - 12" WIRE SHELF & POLE

27 5 - 12" WIRE SHELVES

28 HOTWATER TANK

NOTE: ALL DOORS TO BE 3'-0" X 6'-8"

UNIT ENTRY DOORS TO BE 20 MIN RATED

AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK

ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1

DOOR TO BE 3'-0" X 6'-8" AND OPENING TO THE OUTSIDE FOR WITHOUT OPENING THE UNIT

ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR

NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.

PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS

ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST OUTLET TO THE FINISH FLOOR.

OUTLETS TO THE FINISH FLOOR; OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO HIGHEST OUTLET.

SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.

KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ACCESSIBLE CONTROLS

WINDOWS W/28" U" FACTOR & .40 SHGC

LEGEND

- VERIFIED WALL TYPES AS PER RA1.1 SHEET
- STANDARD WALL (I-PIRCE SHFT RA1.1 #3)
- CORRIDOR WALL (SEE SHFT RA1.1 #4)
- UNIT PARTITION WALL (SEE SHFT RA1.1 #5)
- EXTROK WALL (SEE SHFT RA1.1 #1)
- 2 HR WALL - (STC 50) (SEE SHFT RA1.2 #20)
- 2 HR EXTERIOR WALL (SEE SHFT RA1.2 #19)
- INTERIOR ELEVATIONS (SEE SHFT AG-1)
- SMOK/CARBON MONOXIDE DETECTOR

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203



EMAIL: info@cmaarch.com
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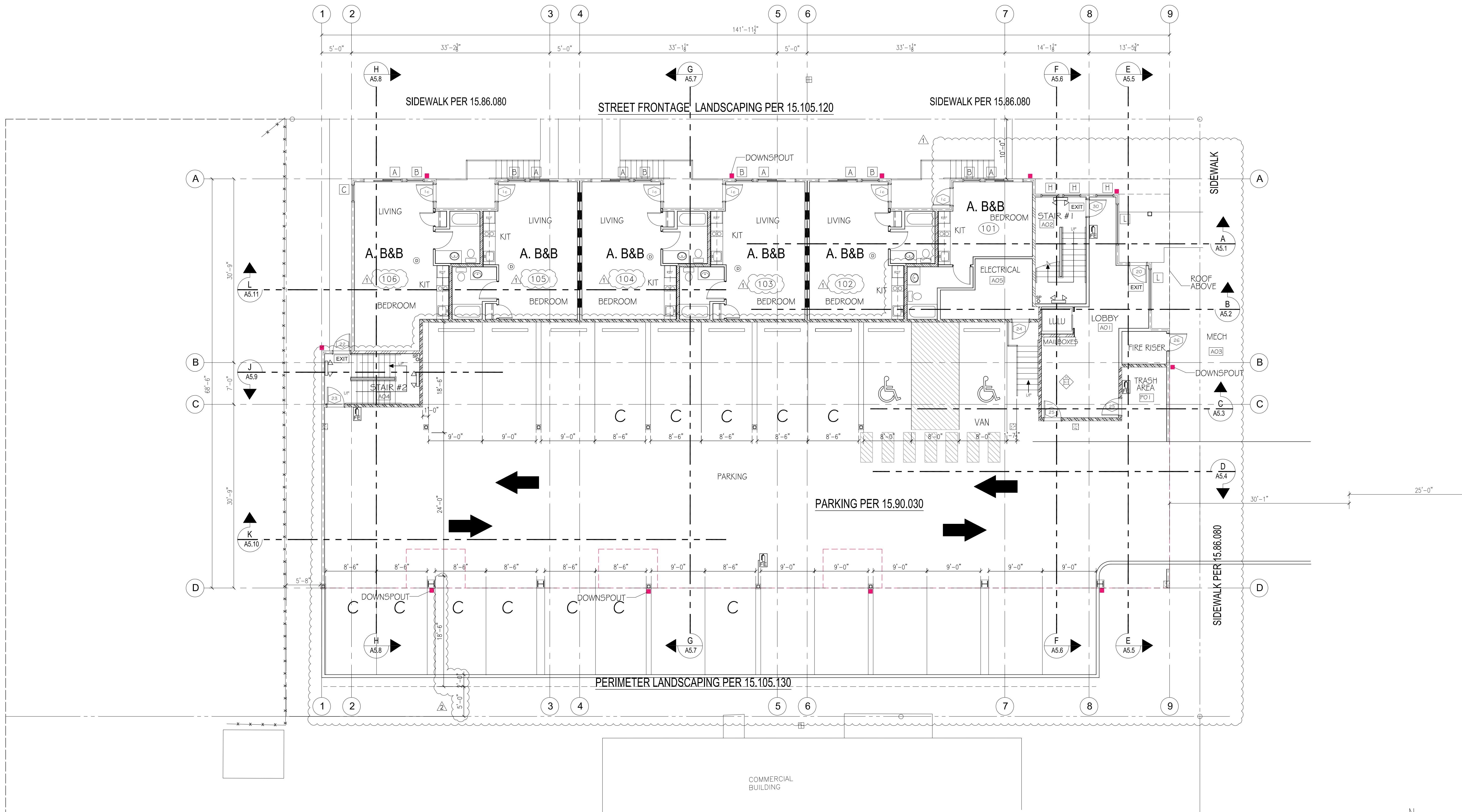
TL-9726
REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE 4 OCT 23
REVISION ▲ 7 MAR 24
SHEET A2.4

2 BR "B2"
TYPICAL UNIT

SCALE 1/4" = 1'-0"

A2.4



1ST FLOOR PLAN

SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
1 7 MAR 24 PERMIT RESUBMITTAL
2 30 MAY 24 REVISION CITY COMMENTS

PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

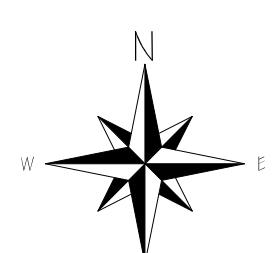
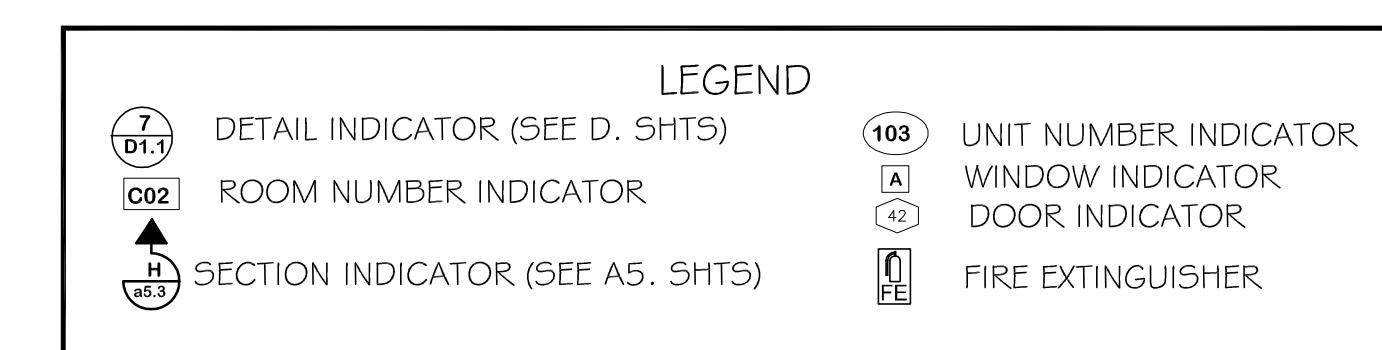
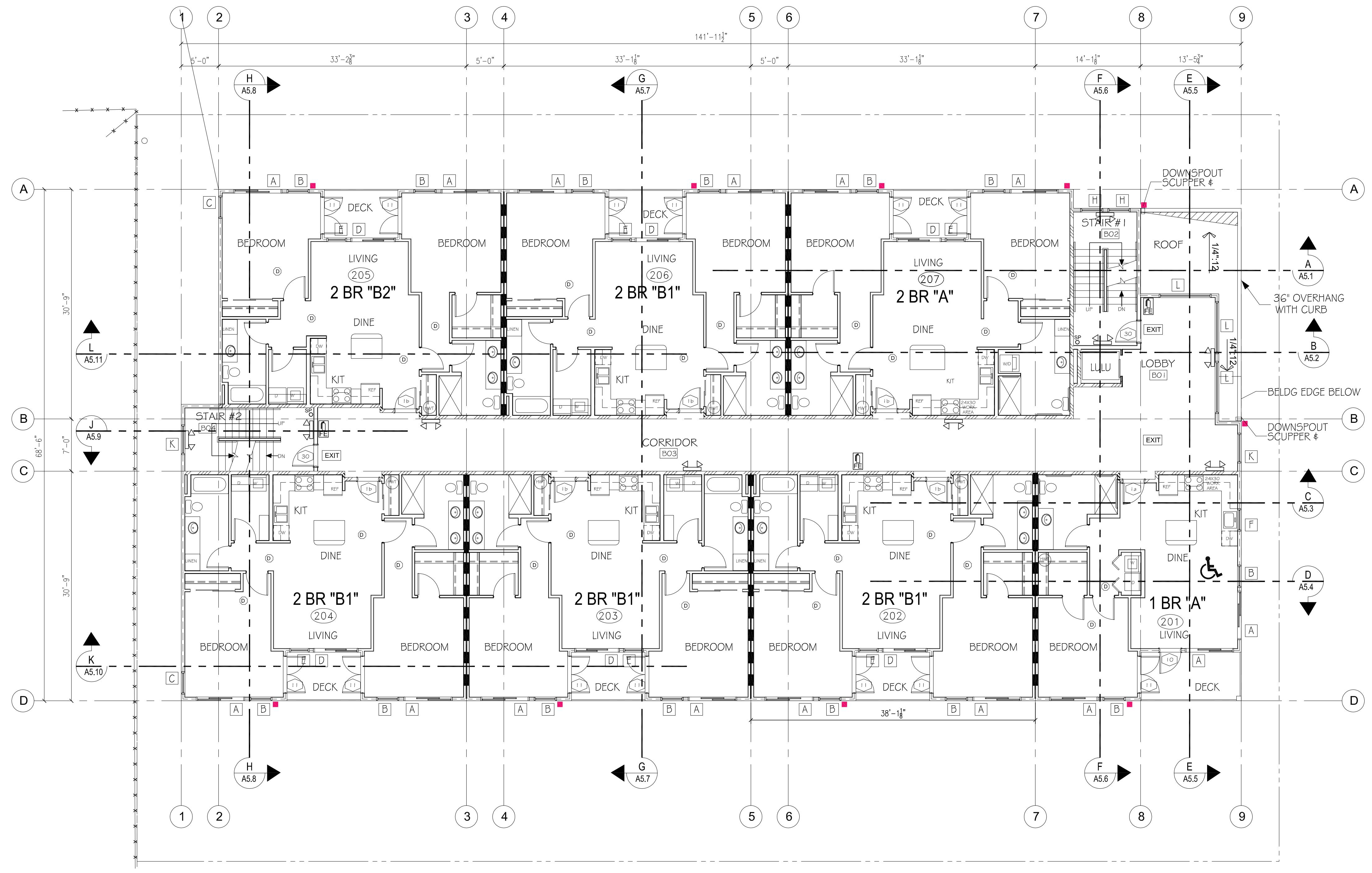
EMAIL info@cmaarch.com
PHONE 425-353-2888

26
REGISTERED
ARCHITECT
CHARLES E. MORGAN
STATE OF WASHINGTON

E Morgan

ATE	4 OCT 23
EVISION	△ 7 MAR 24
EVISION	△ 26 APR 24

A3.1



2ND FLOOR PLAN

SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

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EVERETT, WA 98203

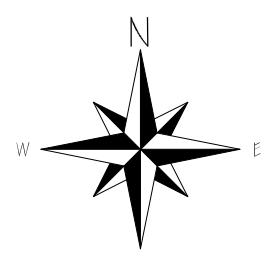
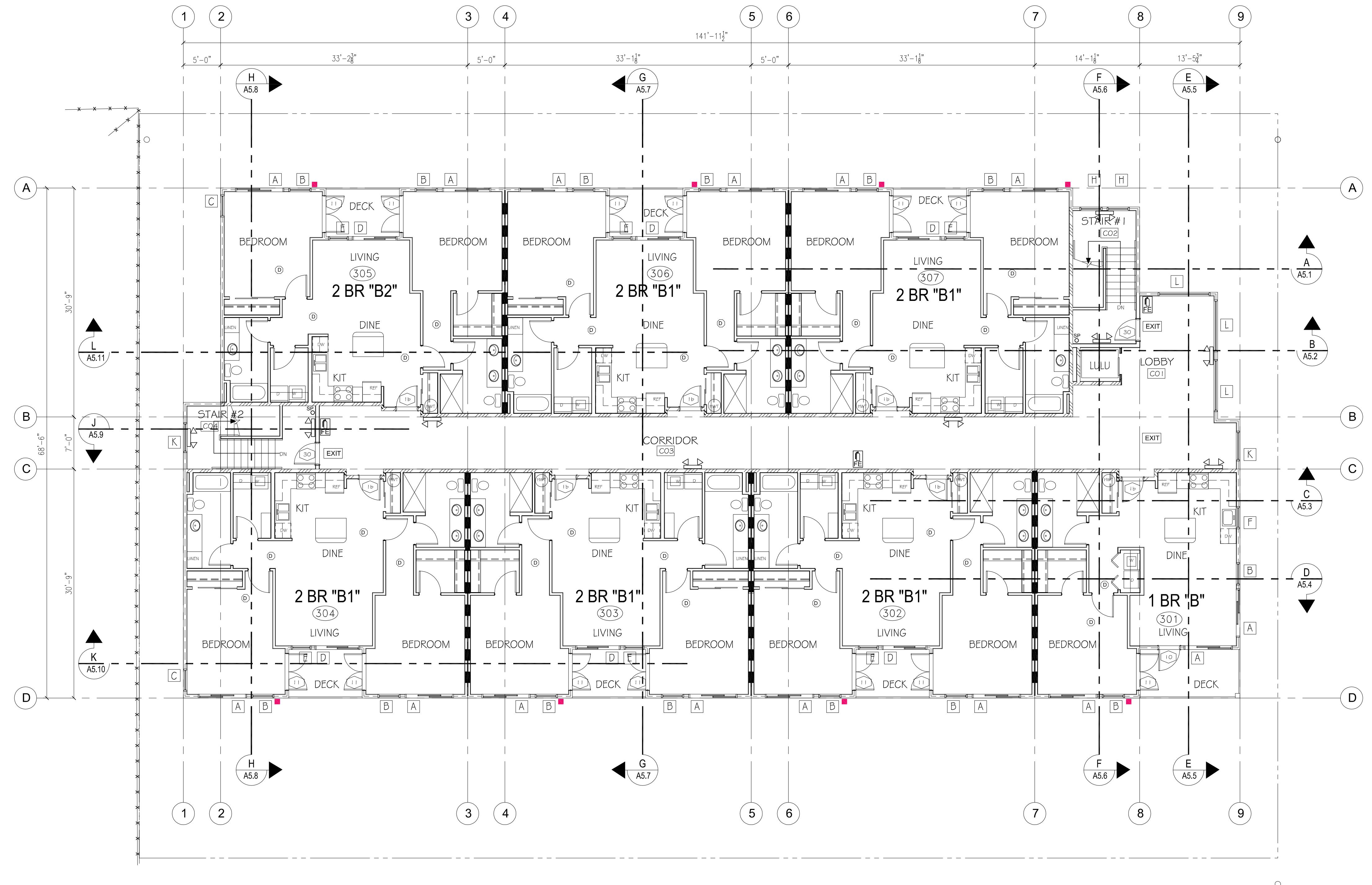
RCHITECTS

EMAIL: info@cmaarch.com
PHONE: 425-353-2888

TL-9726
REGISTERED ARCHITECT
Charles E. Morgan
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	7 MAR 24
SHEET	

A3.2



3RD FLOOR PLAN

SCALE 1/8" = 1'-0"

LEGEND

	DETAIL INDICATOR (SEE D. SHTS)		UNIT NUMBER INDICATOR
	ROOM NUMBER INDICATOR		WINDOW INDICATOR
	SECTION INDICATOR (SEE A5. SHTS)		DOOR INDICATOR
			FIRE EXTINGUISHER

WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA 1.1	
	EXTERIOR WALL - FIRE 1 SIDE
	EXTERIOR WALL - FIRE BOTH SIDES
	CORRIDOR WALL - STC 50 MIN
	DEMISING WALL (1 HR) - STC 50 MIN
	STANDARD WALL (1 HR)
	PARTY WALL (1 HR) - STC 50 MIN

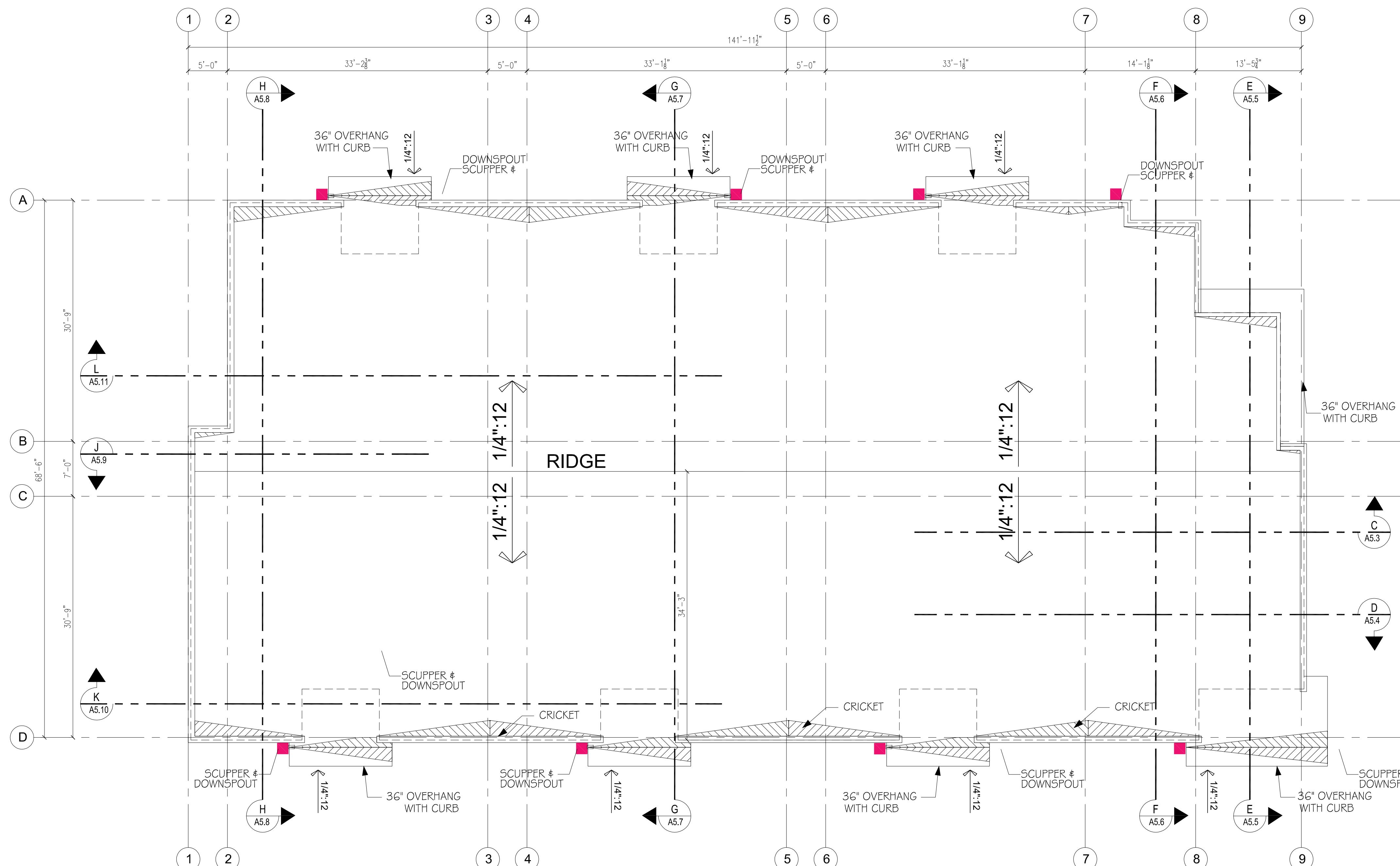
4 OCT 23 PERMIT SUBMITTAL
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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS LLC

CHARLES MORGAN & ASSOCIATES, LLC

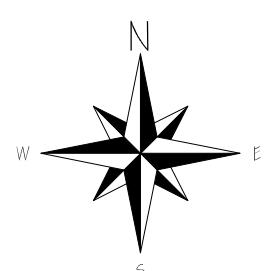
EMAIL info@cmaarch.com
PHONE 425-353-2888

26	REGISTERED ARCHITECT	DATE 4 OCT 23	SHEET
	E Morgan	REVISION △ 7 MAR 24	A3.3
	CHARLES E. MORGAN		
	STATE OF WASHINGTON		



LEGEND

- SCUPPER & DOWNSPOUT
- - - GUTTER
- CURB
- PARAPET WALL
- ☒ CAN VENTS (AF92)
OPENING SIZE 92 SQ/IN
- ▨ PV PANELS



ROOF PLAN
SCALE 1/8" = 1'-0"

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THE TALMON
LOCATION
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DEVELOPER
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CHARLES MORGAN & ASSOCIATES, LLC

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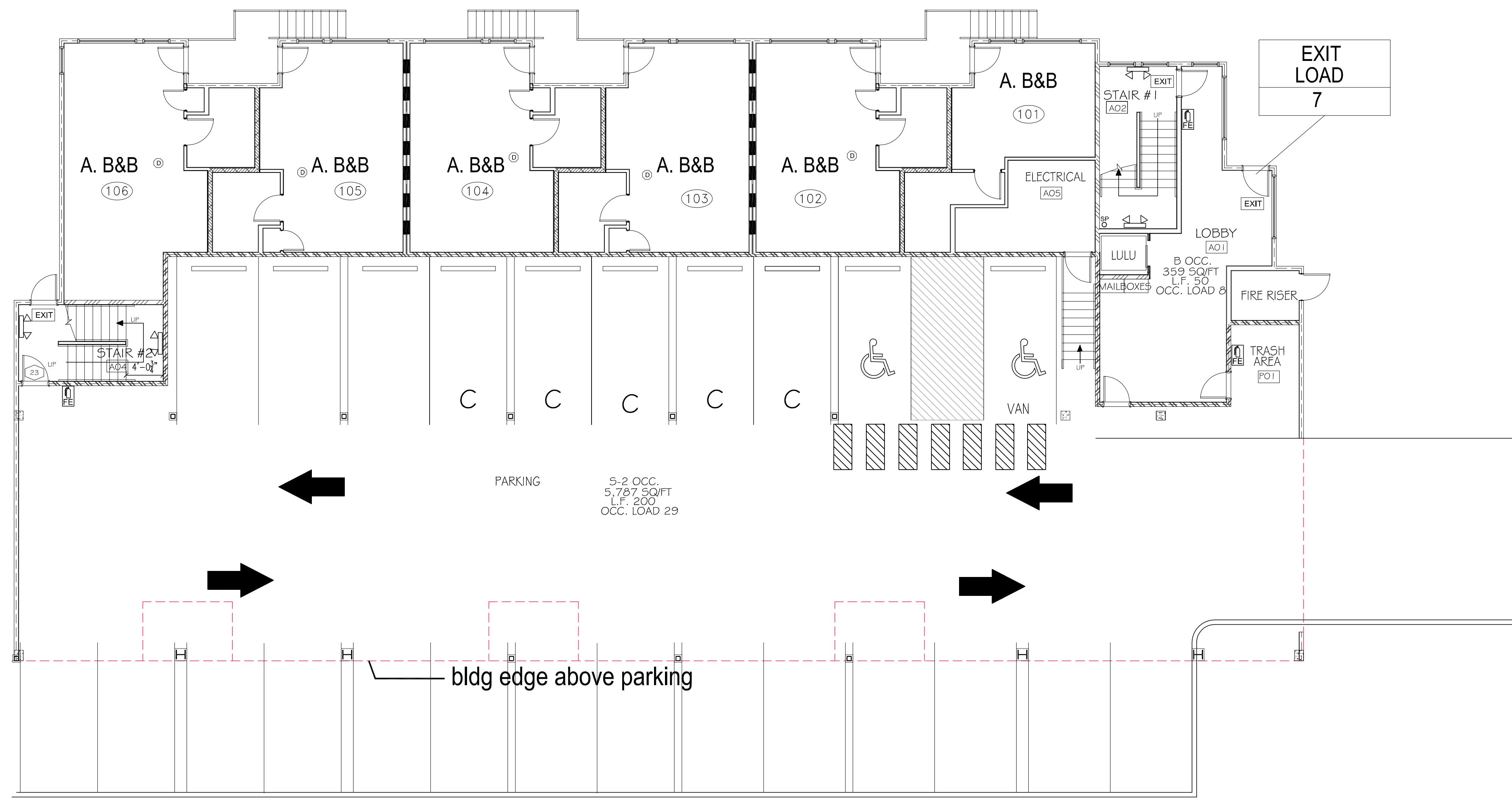
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RCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

TL-9726
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CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	▲ 7 MAR 24

SHEET
A3.4



9,473 SQ/FT				
OCCUPANCY	OCCUPANCY CLASS	LOAD FACTOR	AREA SQ/FT	OCCUPANT LOAD
LOBBY	B	50	358 SQ/FT	8
FIRE RISER/MECH.	S-1	300	40 SQ/FT	1
ELECTRICAL	S-1	300	125 SQ/FT	1
RESIDENTIAL	R-1	200	2,524 SQ/FT	13
PARKING GARAGE	S-1	200	5,787 SQ/FT	29

MEANS OF EGRESS ILLUMINATION

BATTERY PACKS TO PROVIDE 1 FOOTCANDLE OF LIGHT AT THE WALKWAY SURFACE AND SHALL PROVIDE POWER FOR A MINIMUM OF 90 MINUTES AS PER SECTIONS 1008.3 & 1013.6.3

LIFE SAFETY 1ST FLOOR PLAN

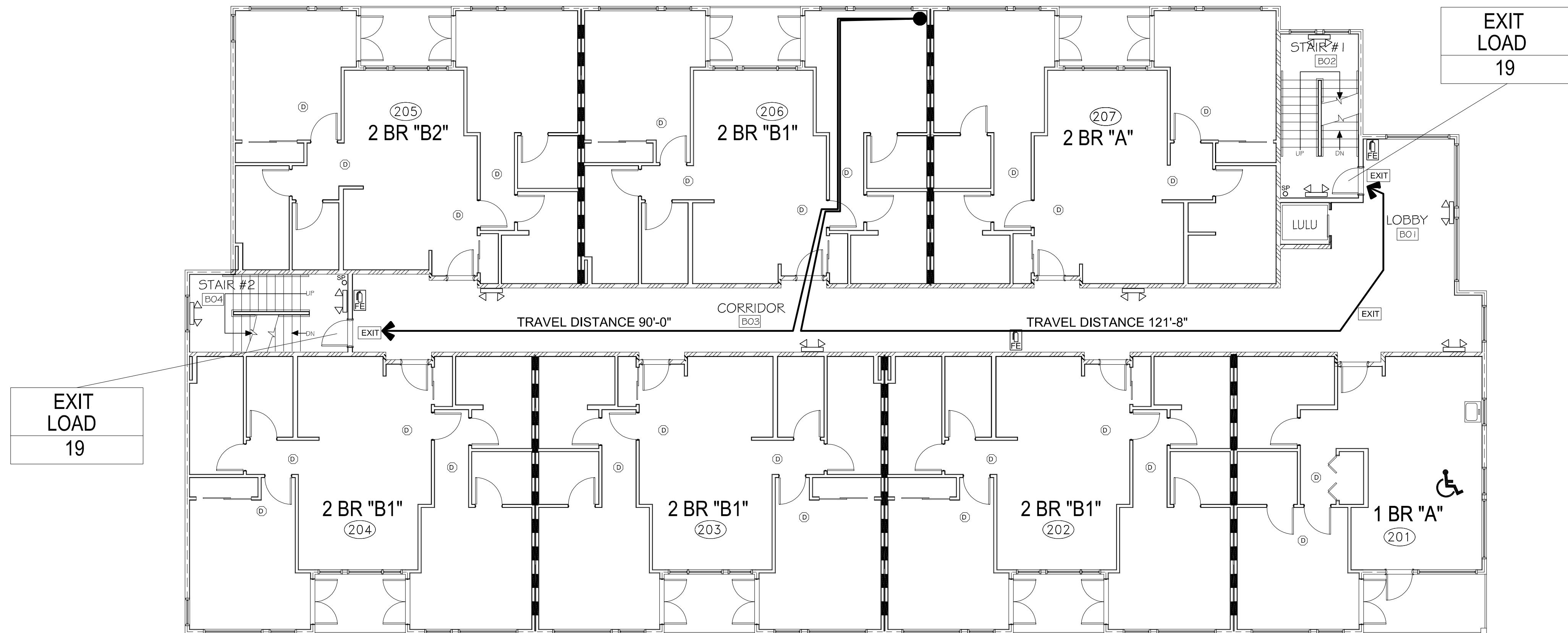
SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
1 7 MAR 24 PERMIT RESUBMITTAL

PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS LLC

CHARLES MORGAN & ASSOCIATES, LLC

EMAIL info@cmaarch.com
PHONE 425-353-2888



9,917 SQ/FT				
OCCUPANCY	OCCUPANCY CLASS	LOAD FACTOR	AREA SQ/FT	OCCUPANT LOAD
RESIDENTIAL	R-1	200	7,351 SQFT	37
TOTAL OCCUPANT LOAD				37

MAXIMUM OCCUPANT LOAD = 37
 50% OF TOTAL LOAD = 19
 REQUIRED CORRIDOR WIDTH = $19 \times 0.2 = 3.8"$
 ACTUAL CORRIDOR WIDTH ARE 5'-6"
 REQUIRED STAIRWAY WIDTH = $19 \times 0.3 = 5.7"$
 ACTUAL STAIRWAY WIDTH IS 44" MIN

MEANS OF EGRESS ILLUMINATION
 BATTERY PACKS TO PROVIDE 1 FOOTCANDLE OF
 LIGHT AT THE WALKWAY SURFACE AND SHALL
 PROVIDE POWER FOR A MINIMUM OF 90 MINUTES
 AS PER SECTIONS 1008.3 & 1013.6.3

LIFE SAFETY
 2ND FLOOR PLAN

SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
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PROJECT
 THE TALMON
 LOCATION
 CENTER STREET, LA CONNER, WA
 DEVELOPER
 KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

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 EVERETT, WA 98203

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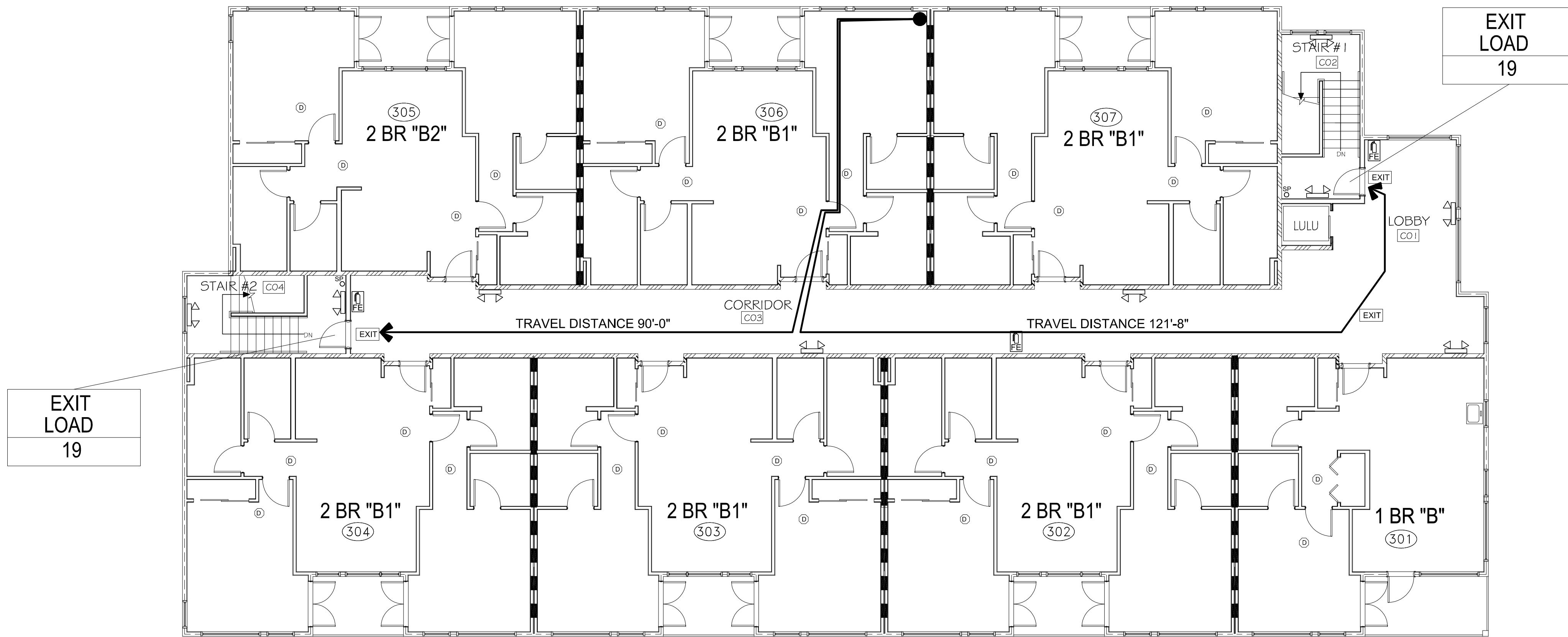
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 ARCHITECT
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 CHARLES E. MORGAN
 STATE OF WASHINGTON

DATE 4 OCT 23
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SHEET

A3.2LS



9,917 SQFT				
OCCUPANCY	OCCUPANCY CLASS	LOAD FACTOR	AREA SQ/FT	OCCUPANT LOAD
RESIDENTIAL	R-1	200	7,351 SQ/FT	37
TOTAL OCCUPANT LOAD				37

MAXIMUM OCCUPANT LOAD = 37
 50% OF TOTAL LOAD = 19
 REQUIRED CORRIDOR WIDTH = $19 \times 0.2 = 3.8"$
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 ACTUAL STAIRWAY WIDTH IS 44" MIN

MEANS OF EGRESS ILLUMINATION
 BATTERY PACKS TO PROVIDE 1 FOOTCANDLE OF
 LIGHT AT THE WALKWAY SURFACE AND SHALL
 PROVIDE POWER FOR A MINIMUM OF 90 MINUTES
 AS PER SECTIONS 1008.3 & 1013.6.3

LIFE SAFETY
 3RD FLOOR PLAN

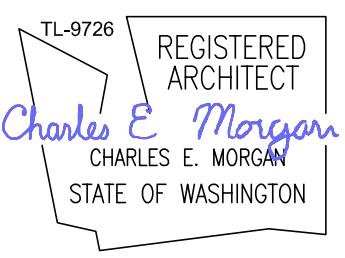
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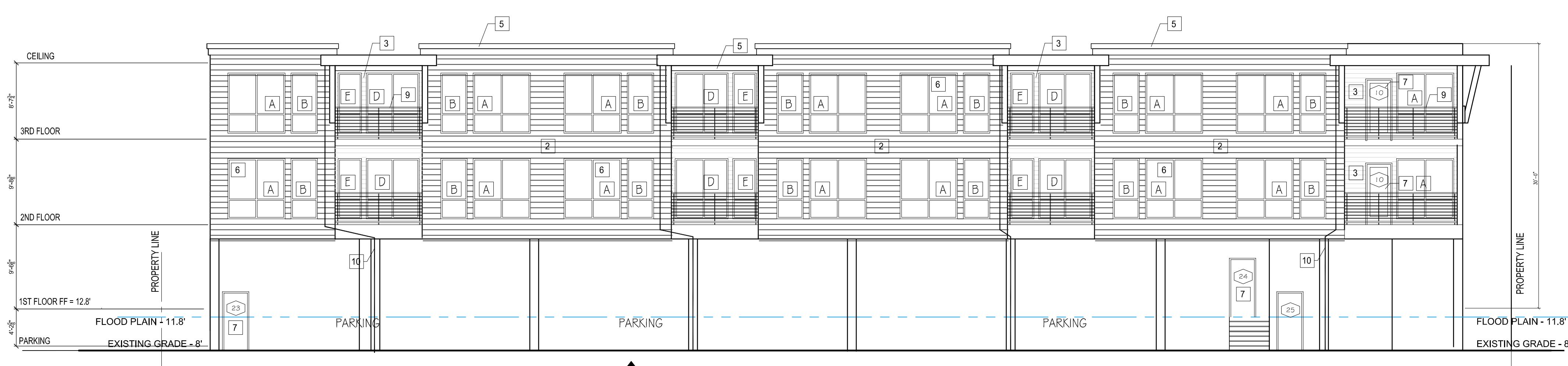
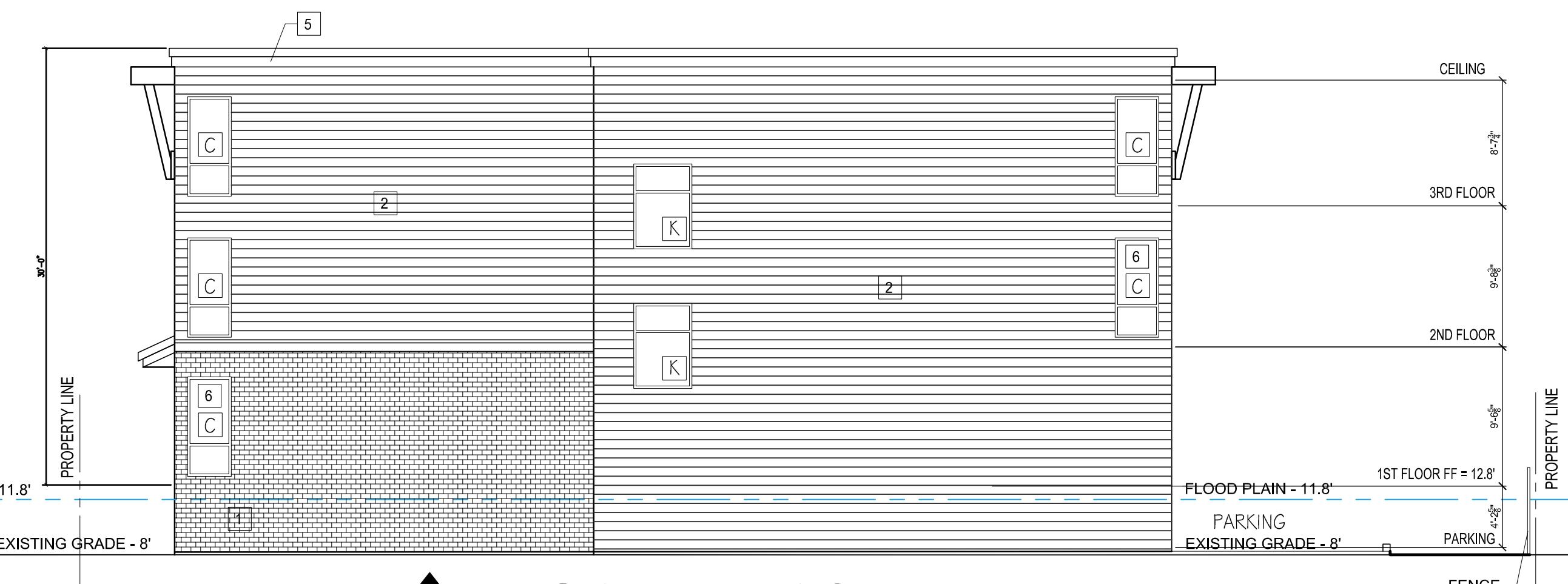
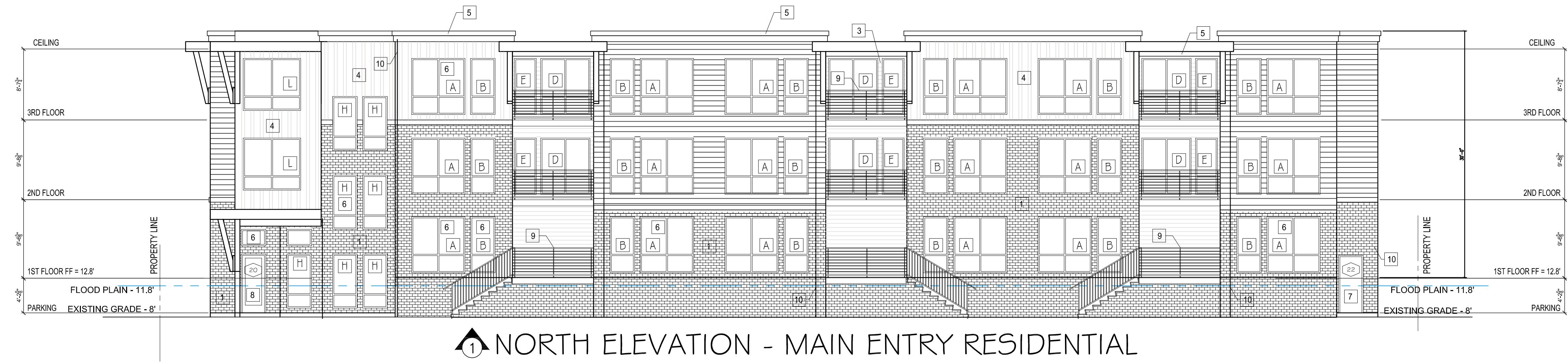
CHARLES MORGAN & ASSOCIATES, LLC

CHARLES MORGAN & ASSOCIATES, LLC
 ARCHITECTS
 7301 BEVERLY LANE
 EVERETT, WA 98203
 EMAIL: info@cmaarch.com
 PHONE: 425-353-2888



DATE	4 OCT 23
REVISION	▲ 7 MAR 24

A3.3LS



KEY NOTES	
1	THIN BRICK
2	HORIZONTAL HARDIE SIDING
3	HORIZONTAL HARDIE SIDING
4	VERTICAL HARDIE SIDING
5	FASCIA
6	BLACK VINYL WINDOWS
7	FINISHED METAL DOORS
8	STOREFRONT DOOR
9	METAL RAILINGS
10	DOWNSPOUTS

4 OCT 23 PERMIT SUBMITTAL
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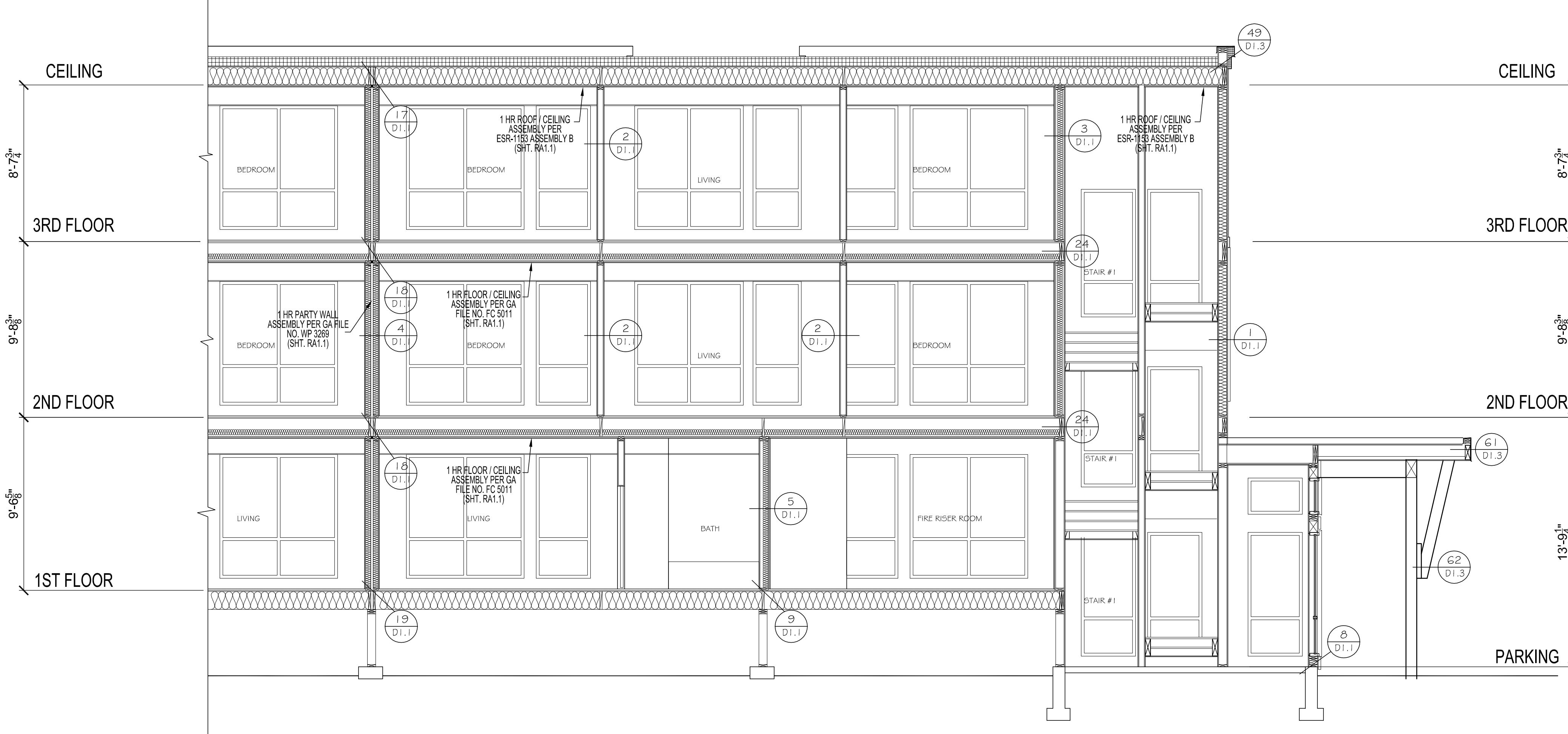
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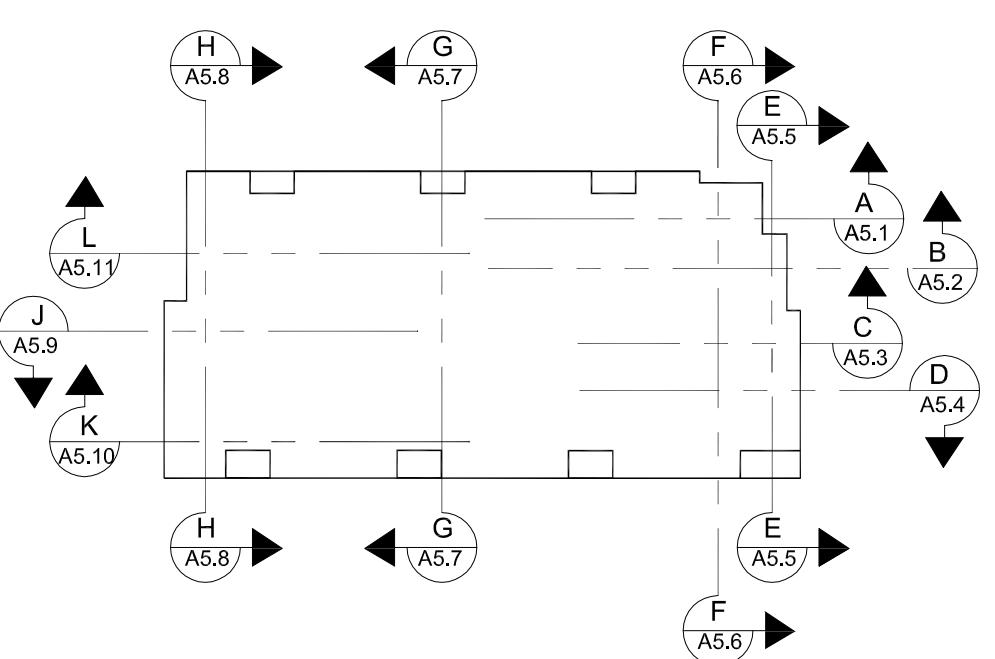
DATE 4 OCT 23
REVISION 7 MAR 24
SHEET

A4.1

ELEVATIONS
SCALE 1/8" = 1'-0"



SECTION 'A'



SECTION 'A'
SCALE 1/4" = 1'-0"

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THE TALMON
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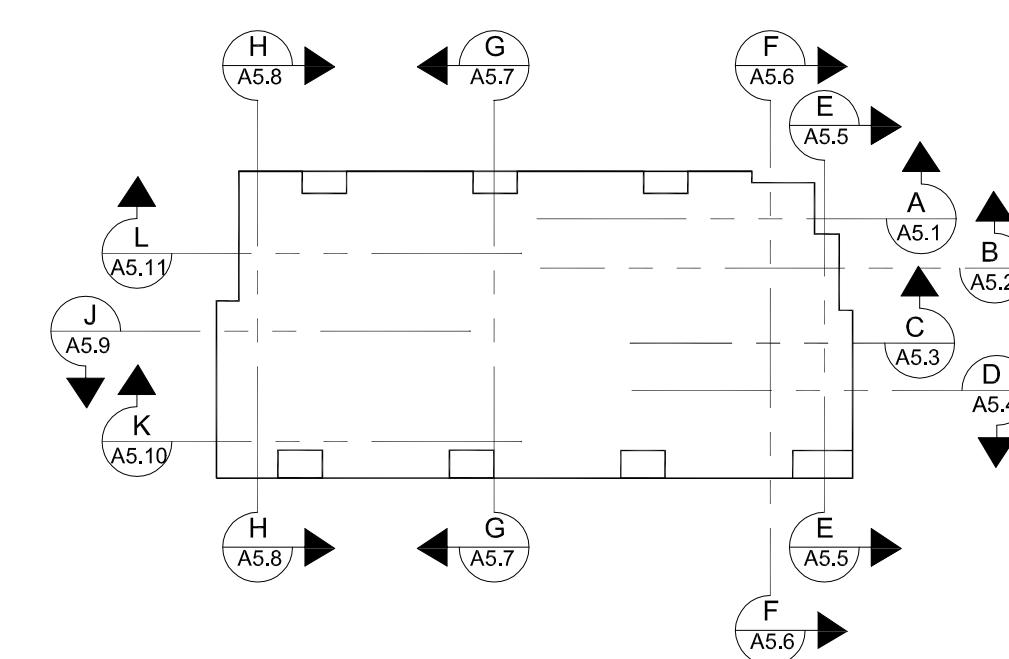
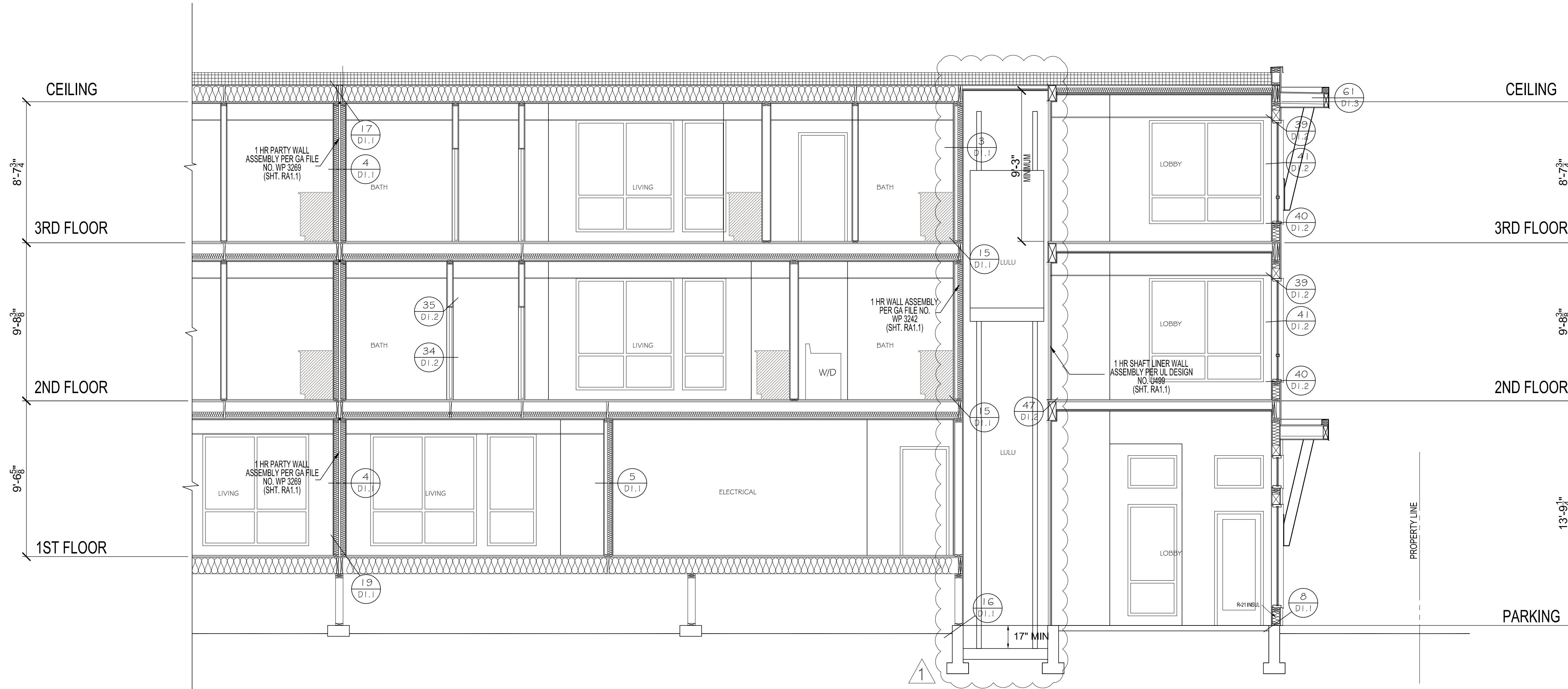
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ARCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

TL-9726
REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	▲ 7 MAR 24

A5.1



SECTION 'B'
SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

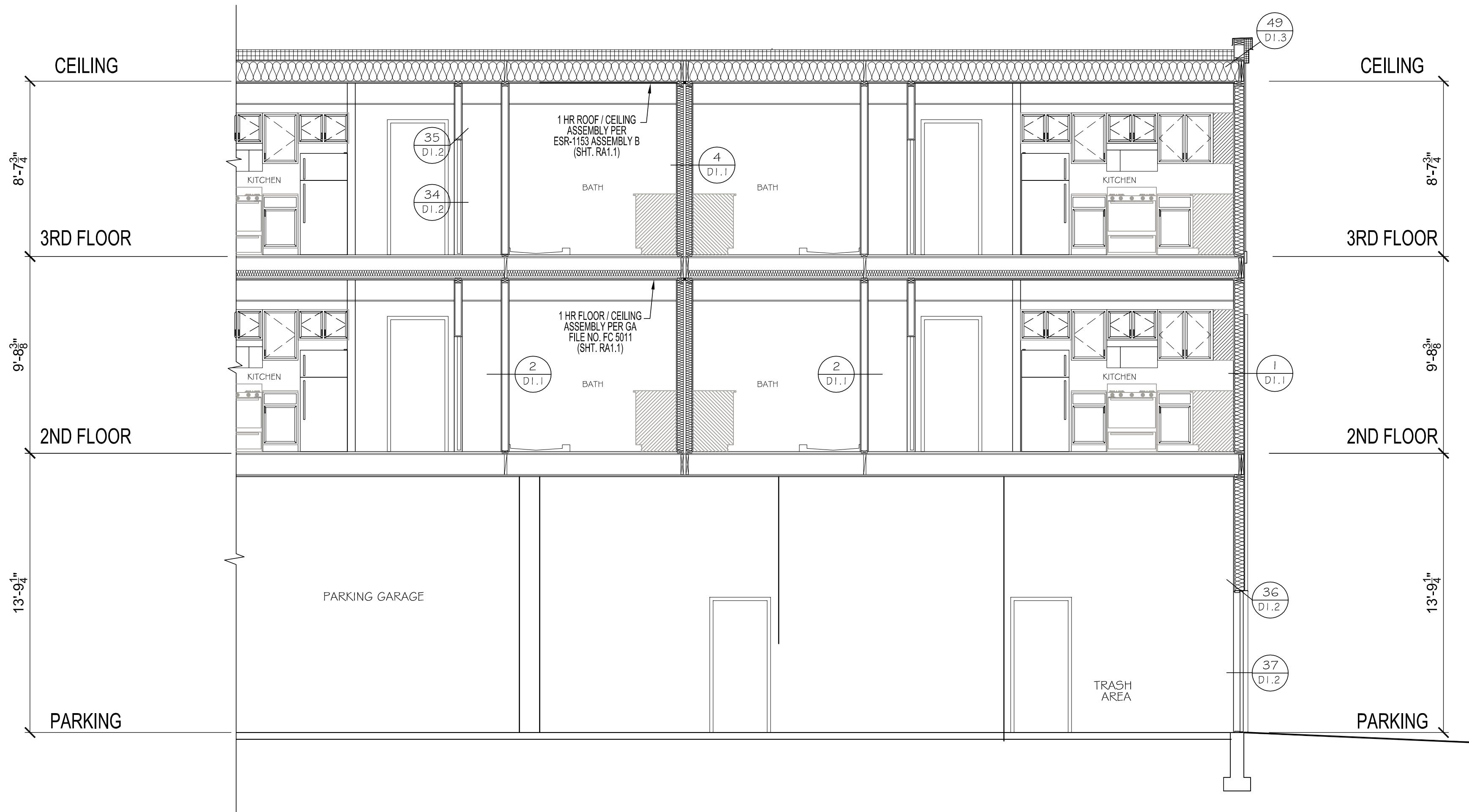
ARCHITECTS

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PHONE 425-353-2888

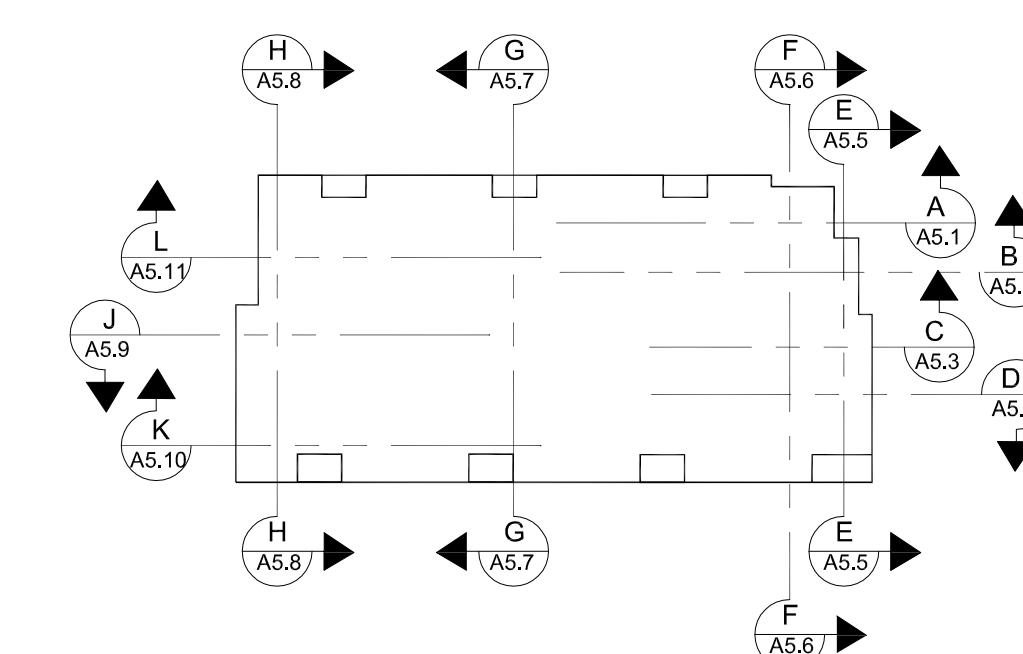
TL-9726
REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	7 MAR 24

A5.2



SECTION 'C'



SECTION 'C'
SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

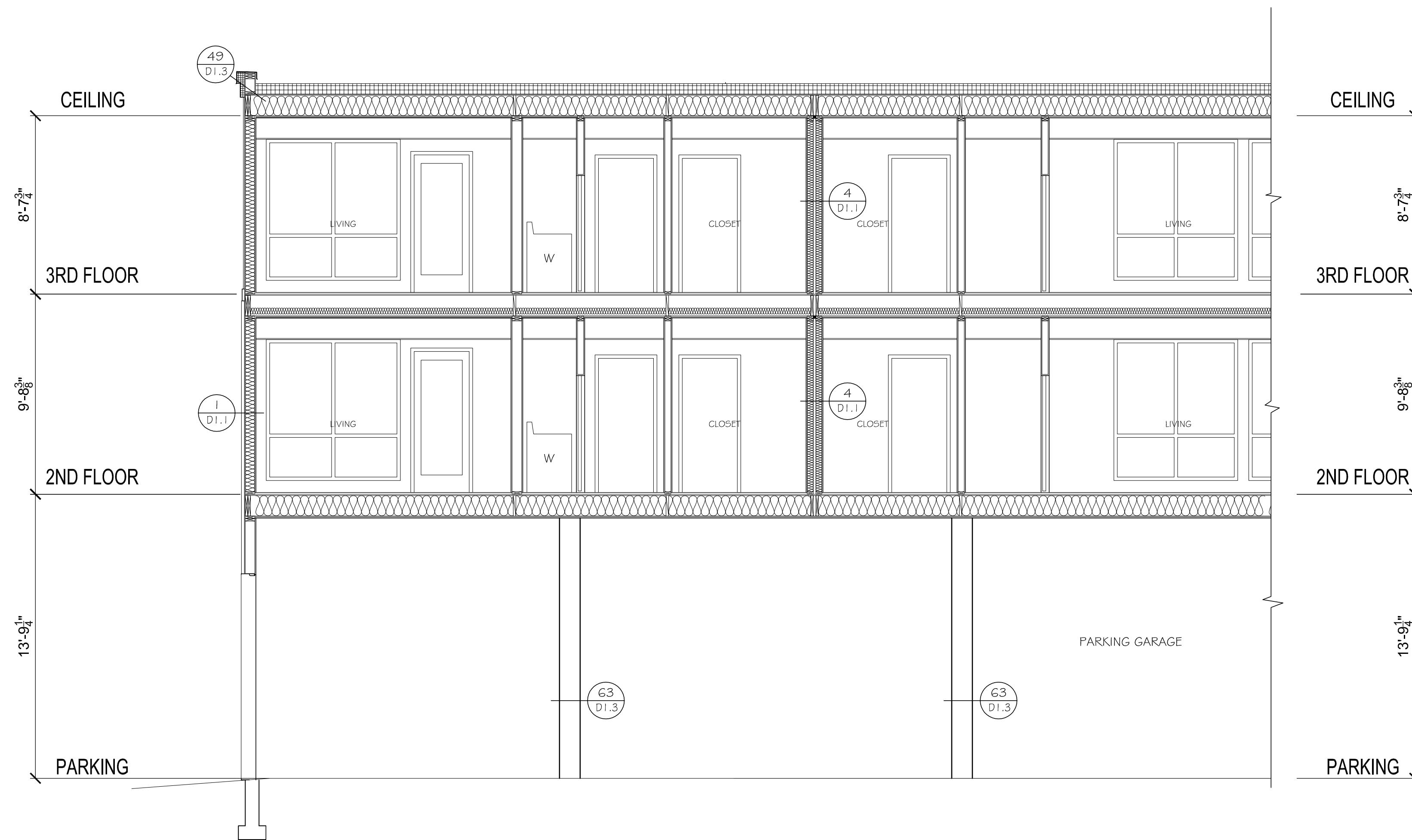
CHARLES MORGAN & ASSOCIATES, LLC
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PHONE 425-353-2888

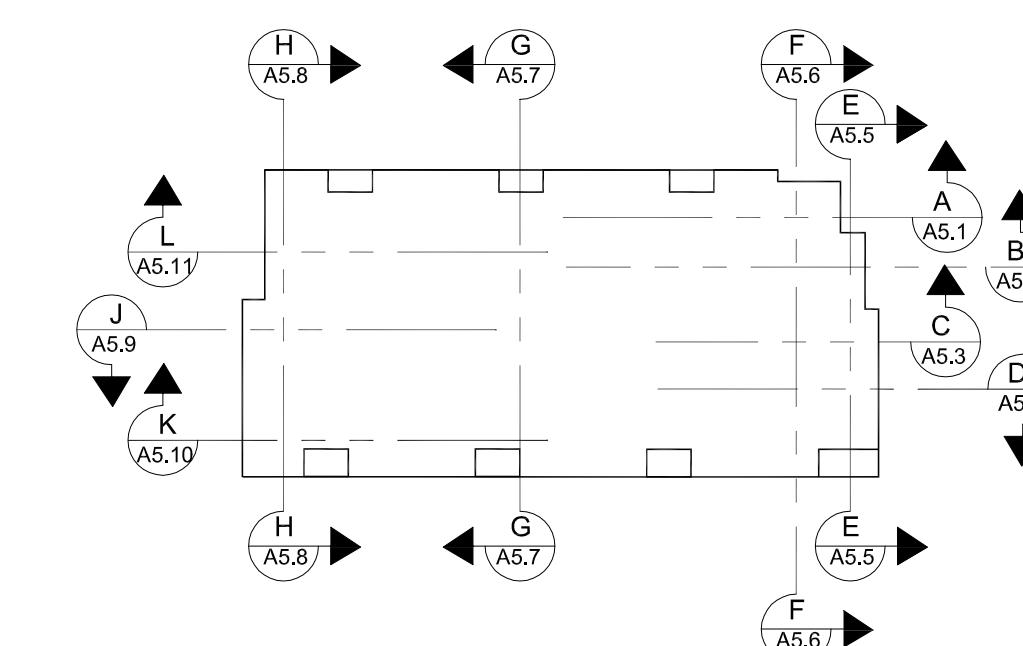
TL-9726
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CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE 4 OCT 23
REVISION 7 MAR 24
SHEET

A5.3



SECTION 'D'



SECTION 'D'
SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

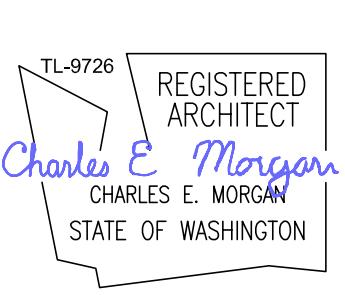
PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

CHARLES MORGAN & ASSOCIATES, LLC
ARCHITECTS

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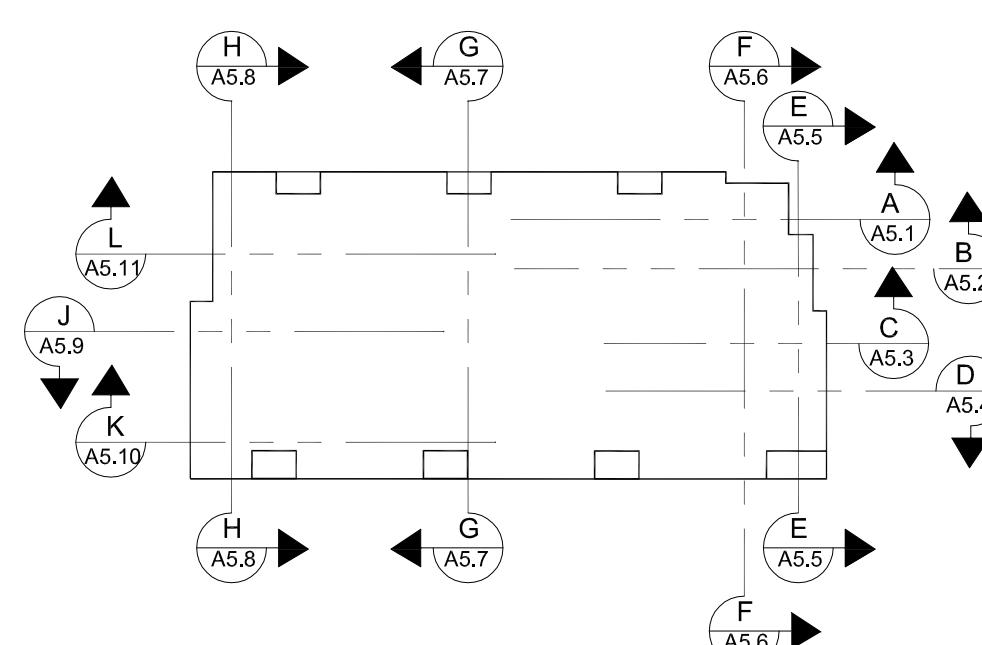


DATE	4 OCT 23
REVISION	7 MAR 24

SHEET
A5.4



SECTION 'E-E'



SECTION "E-E"
SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

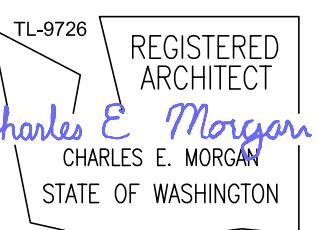
PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

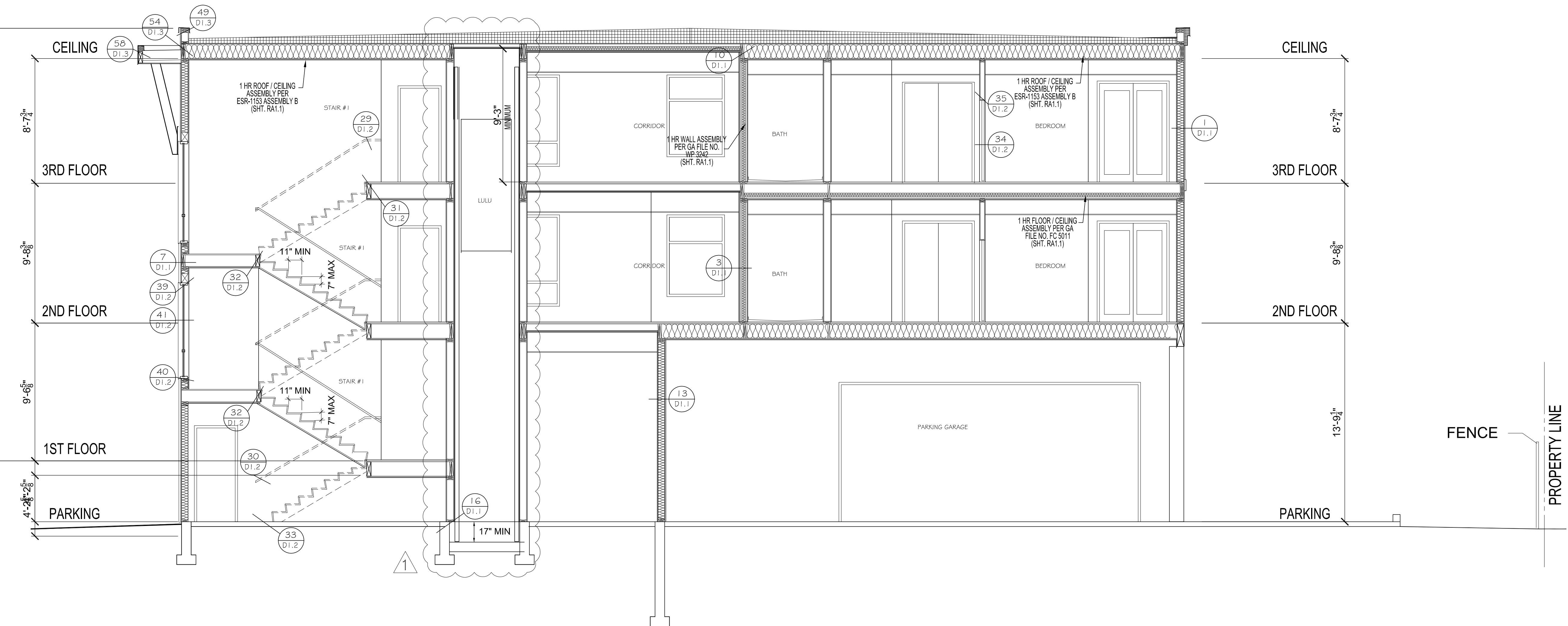
CHARLES MORGAN & ASSOCIATES
RCHITECTS

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PHONE 425-353-2888

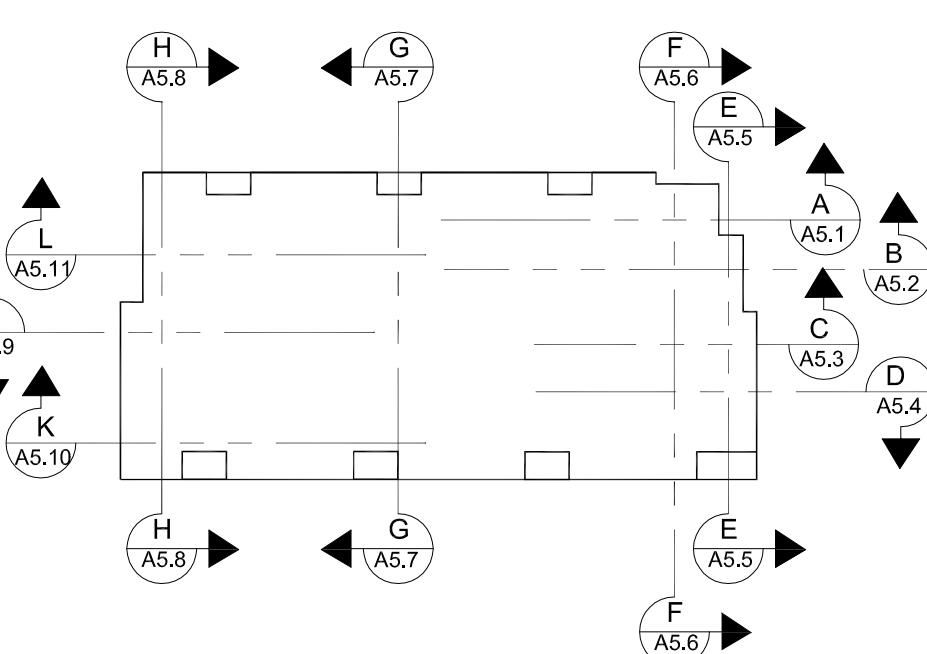


DATE	4 OCT 23
REVISION	7 MAR 24

SHEET
A5.5



SECTION 'F-F'



SECTION 'F-F'

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

CHARLES MORGAN & ASSOCIATES, LLC
RCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

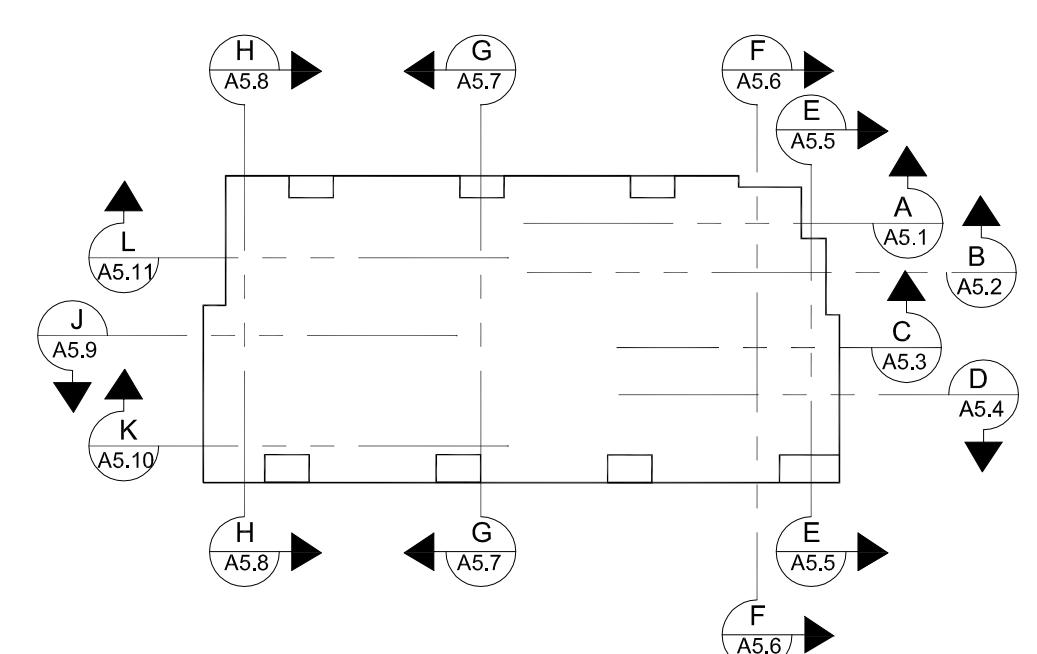
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CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	▲ 7 MAR 24

A5.6



SECTION 'G-G'



SECTIONS 'G-G'

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
⚠ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT THE TALMON
LOCATION CENTRE STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

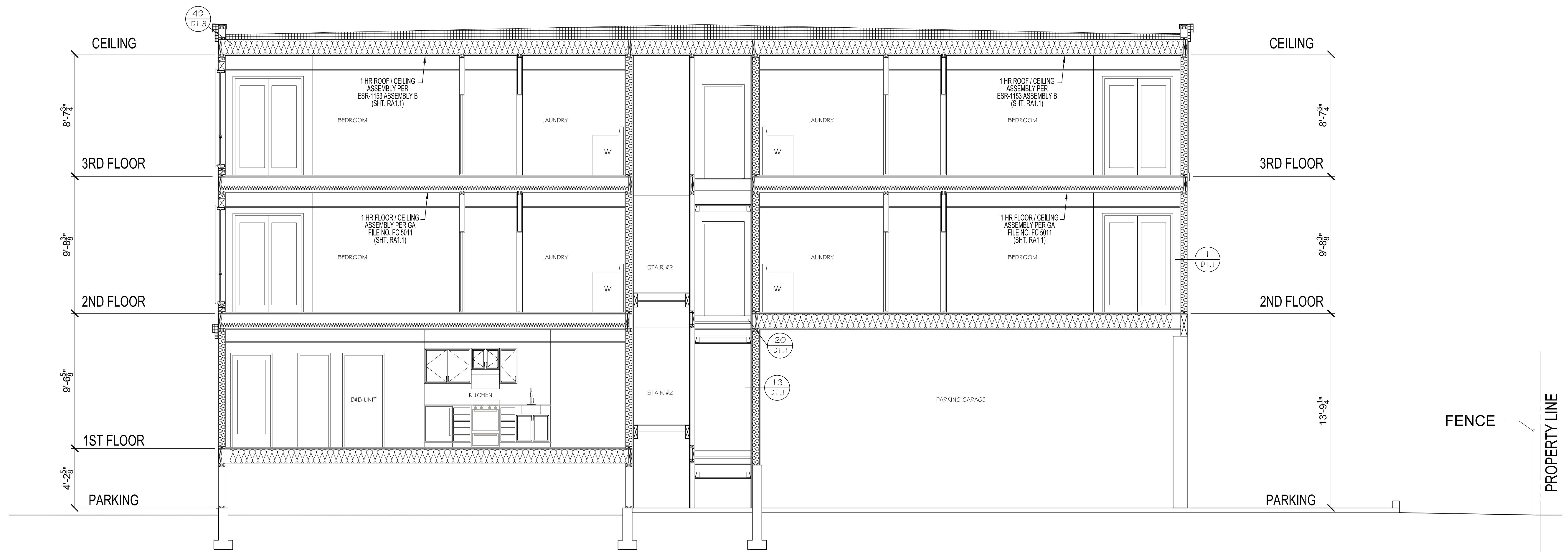
CHARLES MORGAN & ASSOCIATES LLC

7301 BEVERLY LANE
EVERETT, WA 98203

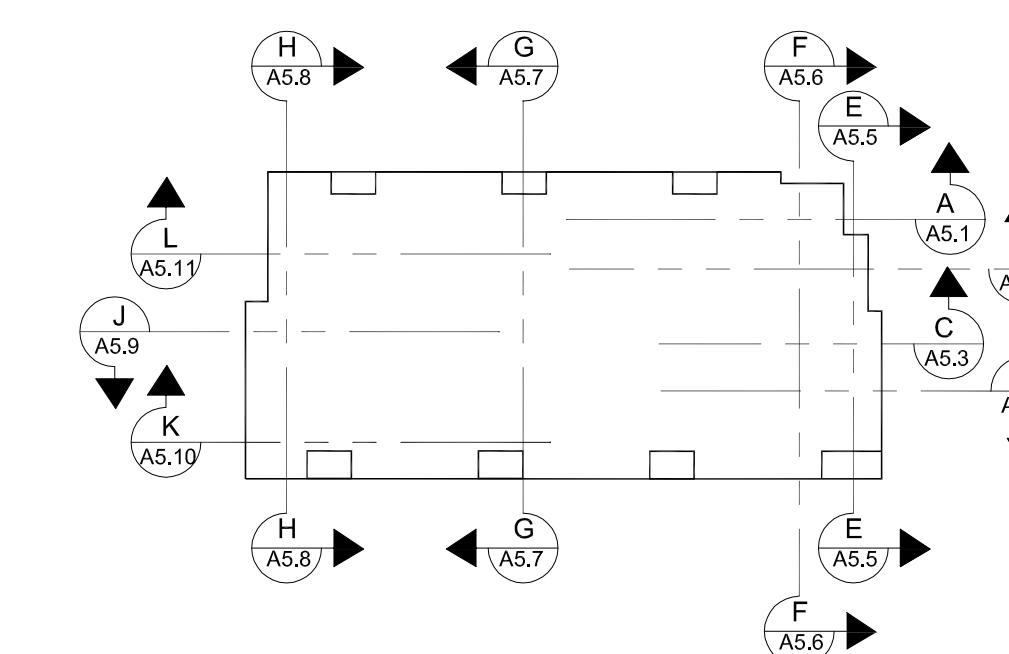


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PHONE 425-353-2888



SECTION 'H-H'



SECTION 'H-H'

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
△ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

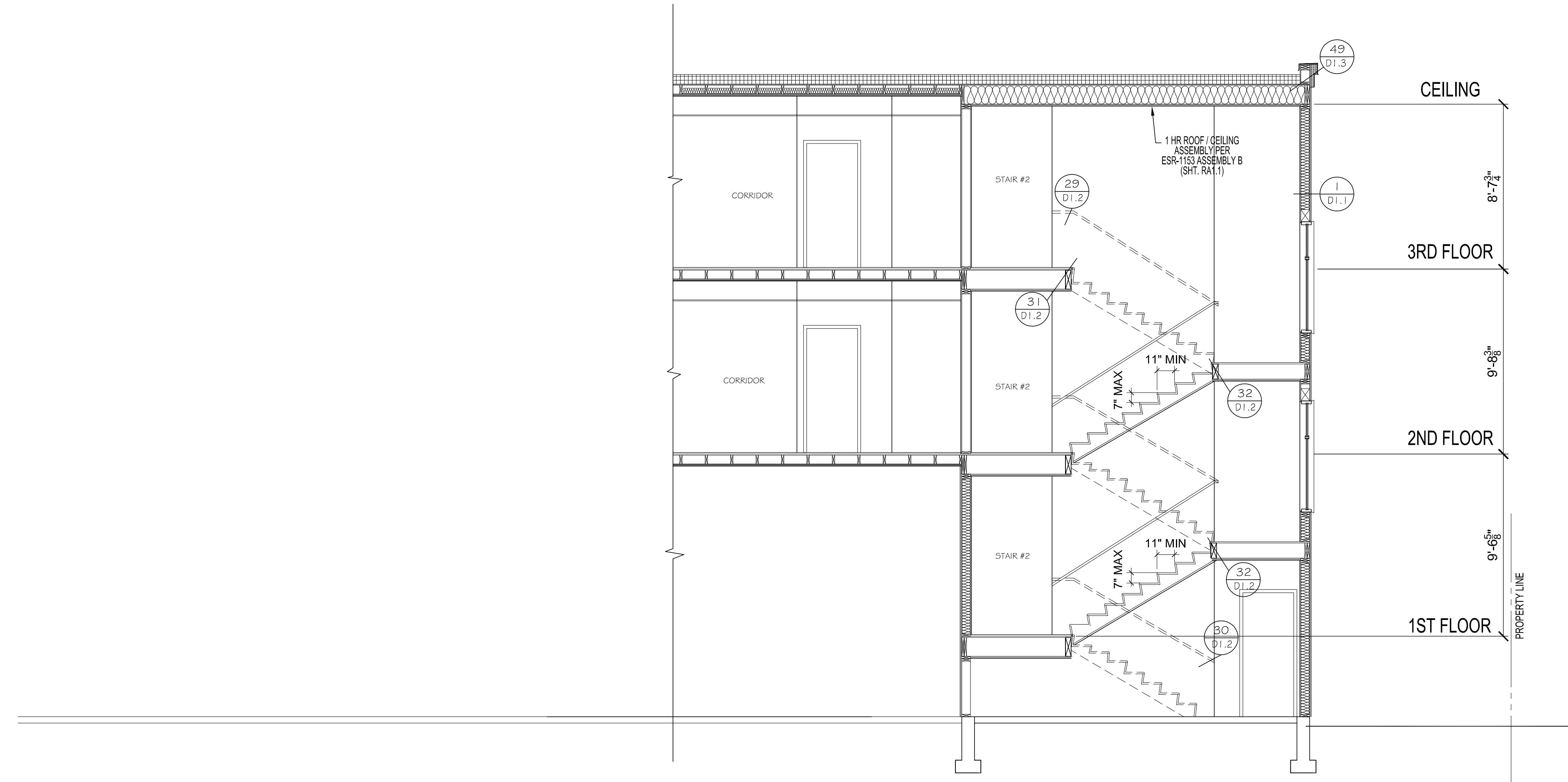
CHARLES E. MORGAN
CHARLES MORGAN & ASSOCIATES, LLC
RCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

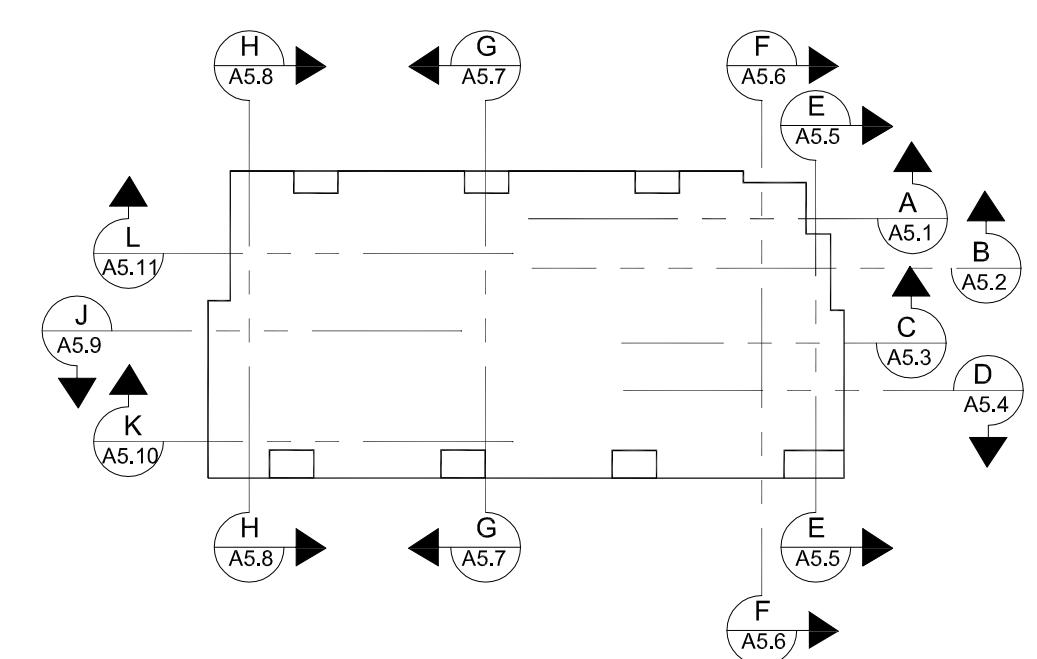
TL-9726
REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	△ 7 MAR 24

A5.8



SECTION 'J-J'



SECTION 'J-J'
SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

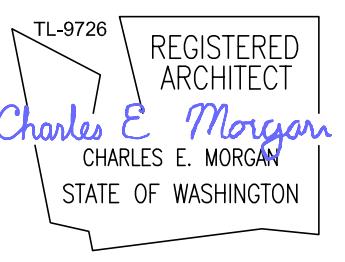
PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

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EVERETT, WA 98203

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ARCHITECTS

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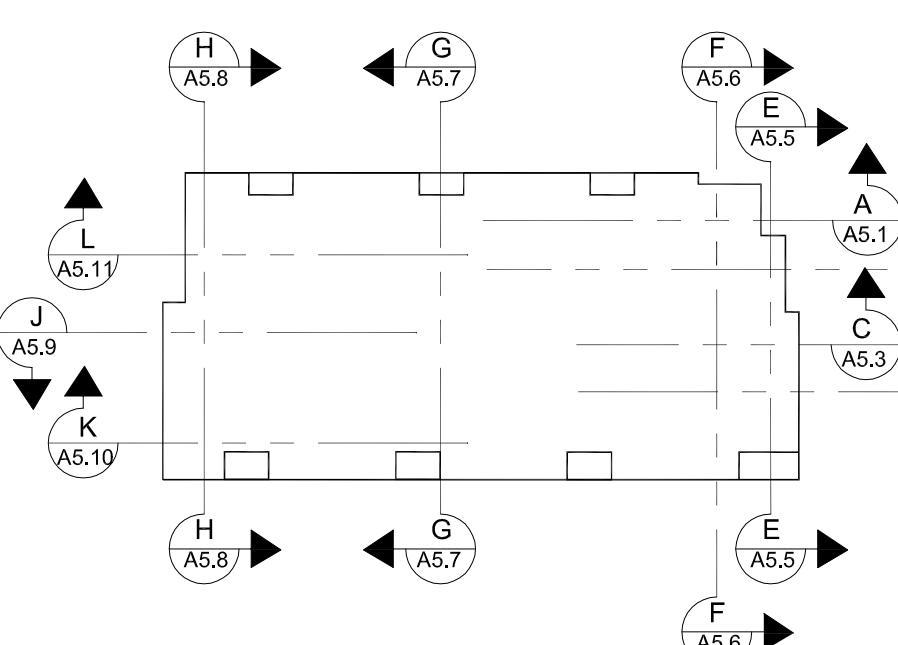


DATE	4 OCT 23
REVISION	7 MAR 24

A5.9



SECTION 'K-K'



SECTIONS 'K-K'

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

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EVERETT, WA 98203

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ARCHITECTS

EMAIL info@cmaarch.com
PHONE 425-353-2888

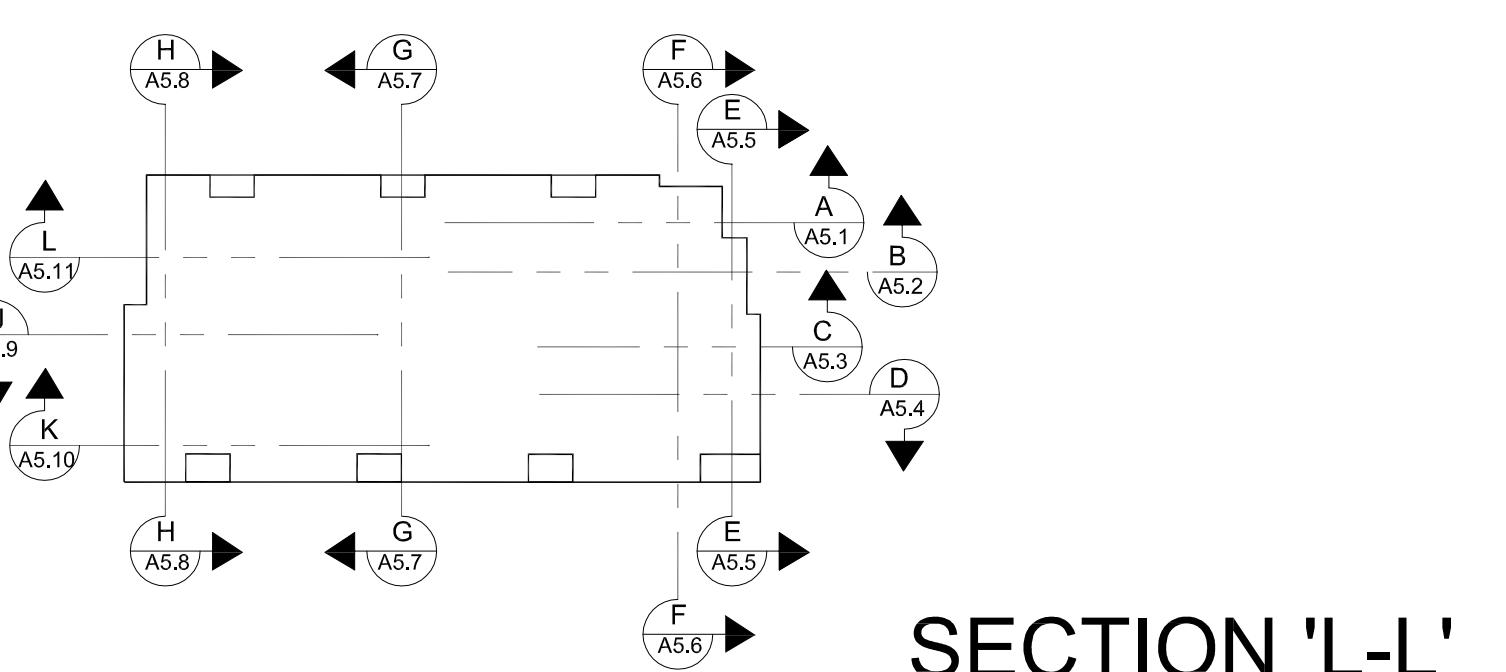
TL-9726
REGISTERED
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CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	▲ 7 MAR 24

A5.10



SECTION 'L-L'



SECTION 'L-L'

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
▲ 7 MAR 24 PERMIT RESUBMITTAL

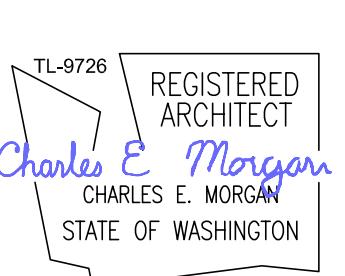
PROJECT
THE TALMON
LOCATION
CENTRE STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

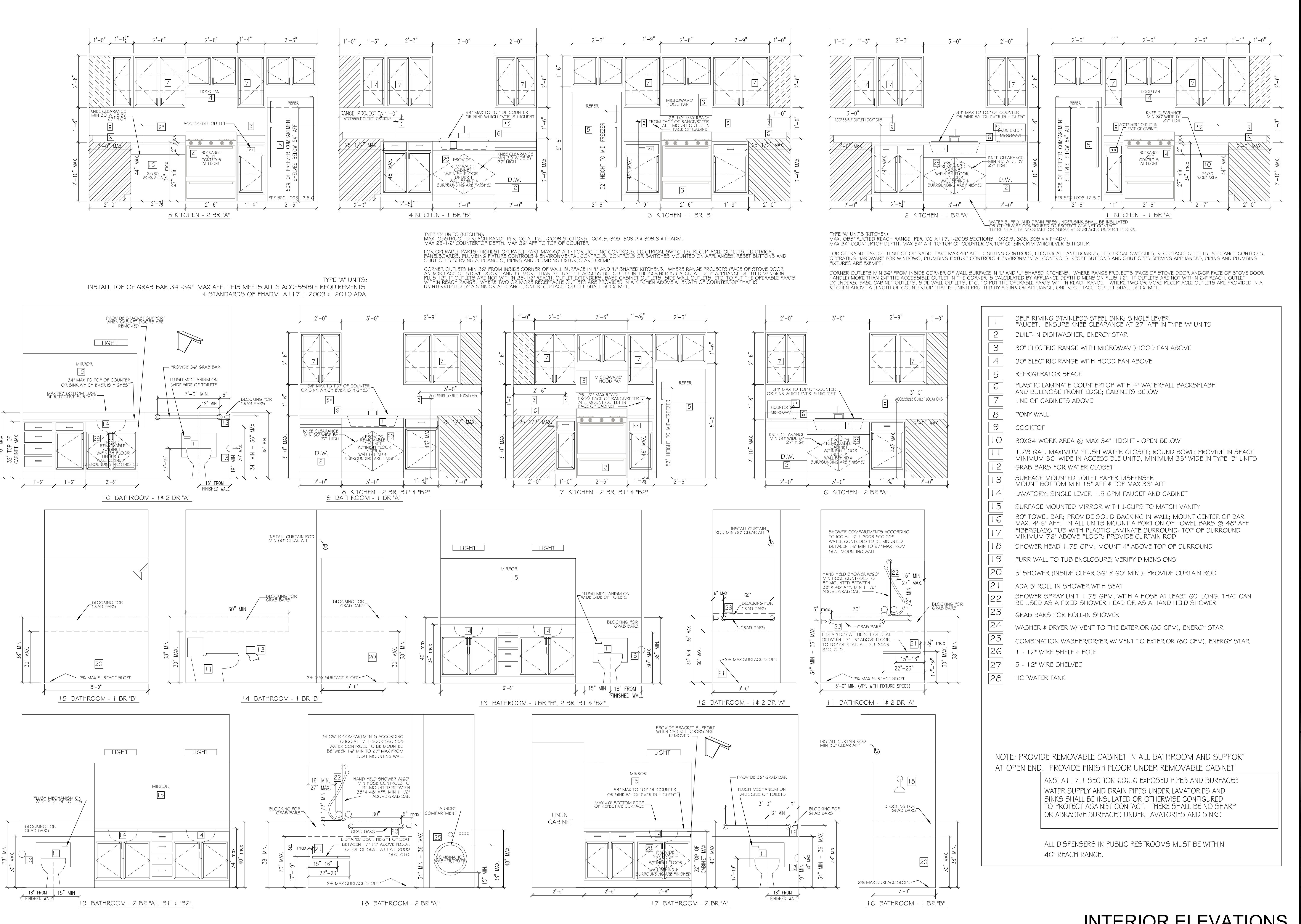
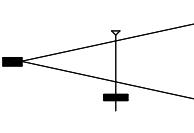
CHARLES MORGAN & ASSOCIATES, LLC
RCHITECTS

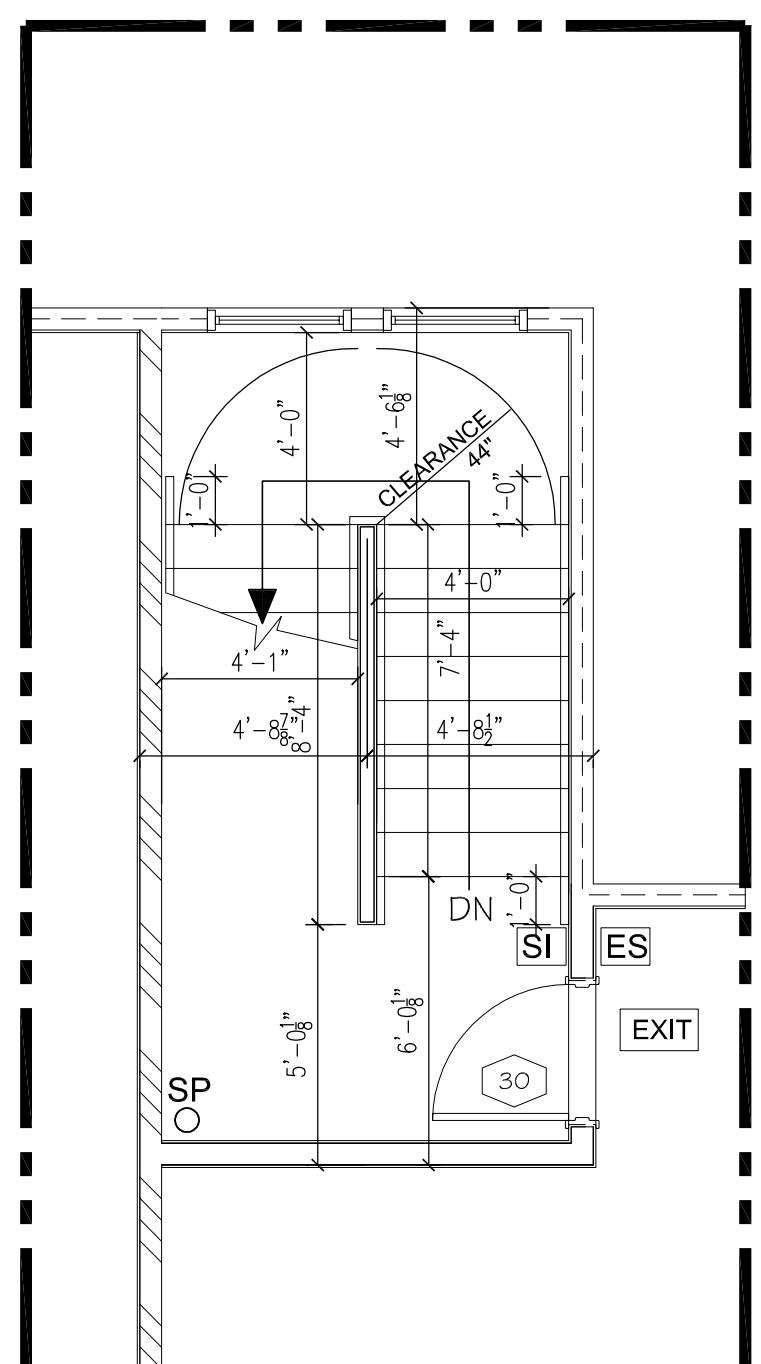
EMAIL info@cmaarch.com
PHONE 425-353-2888



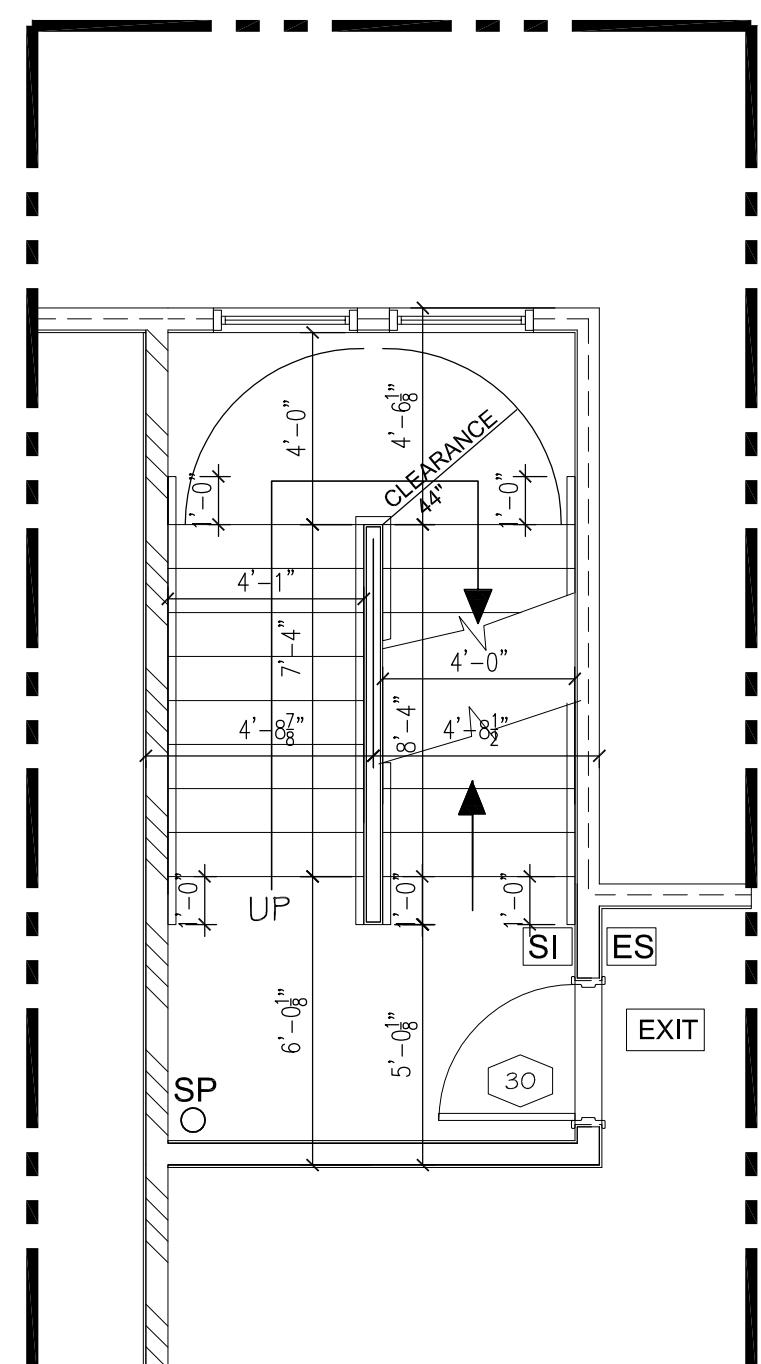
DATE	4 OCT 23
REVISION	▲ 7 MAR 24
SHEET	

A5.10

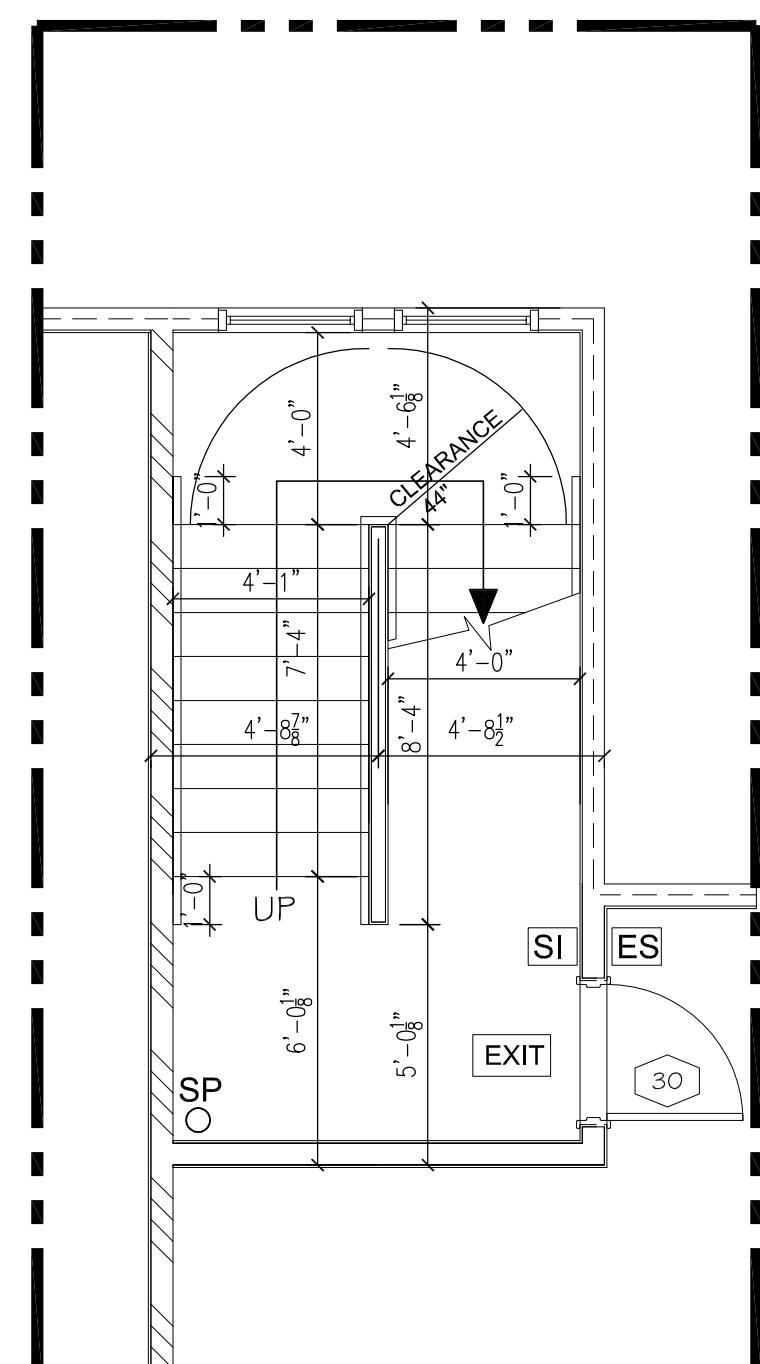




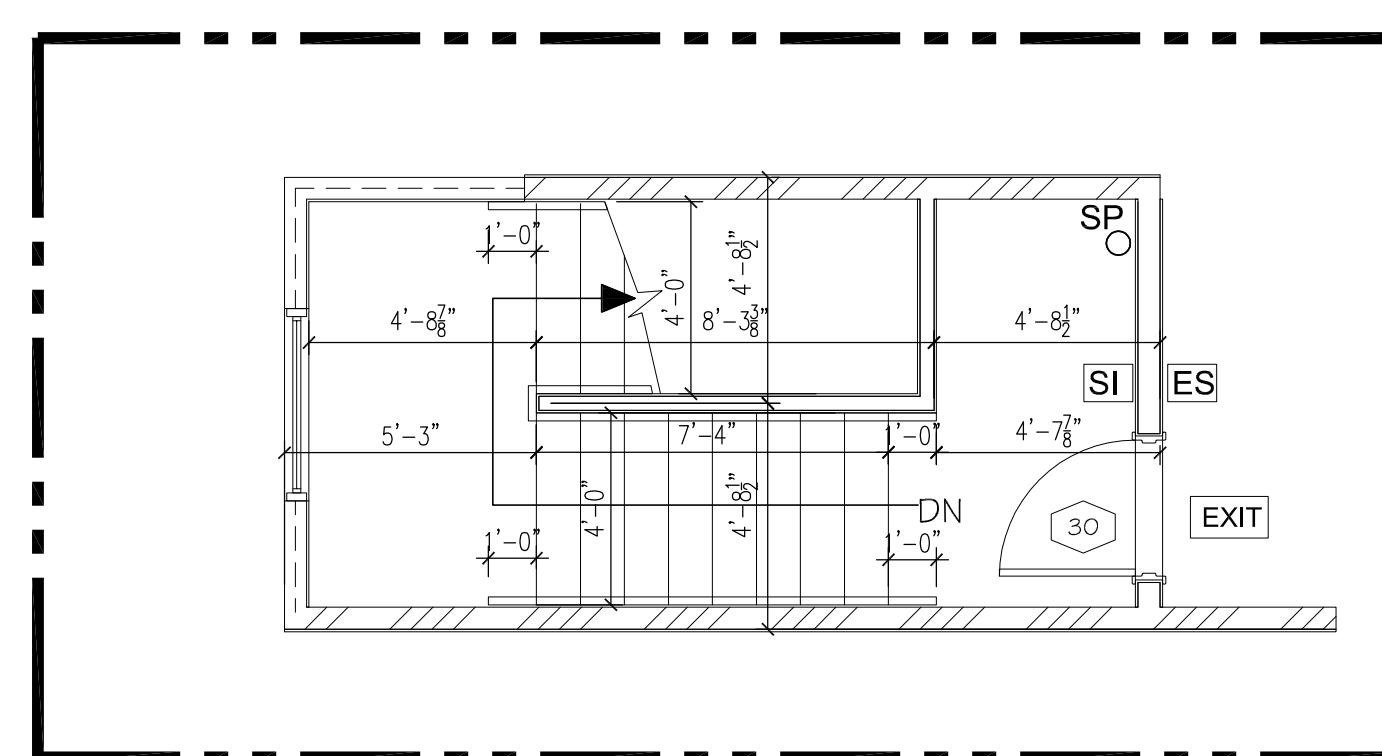
3RD FLOOR PLAN



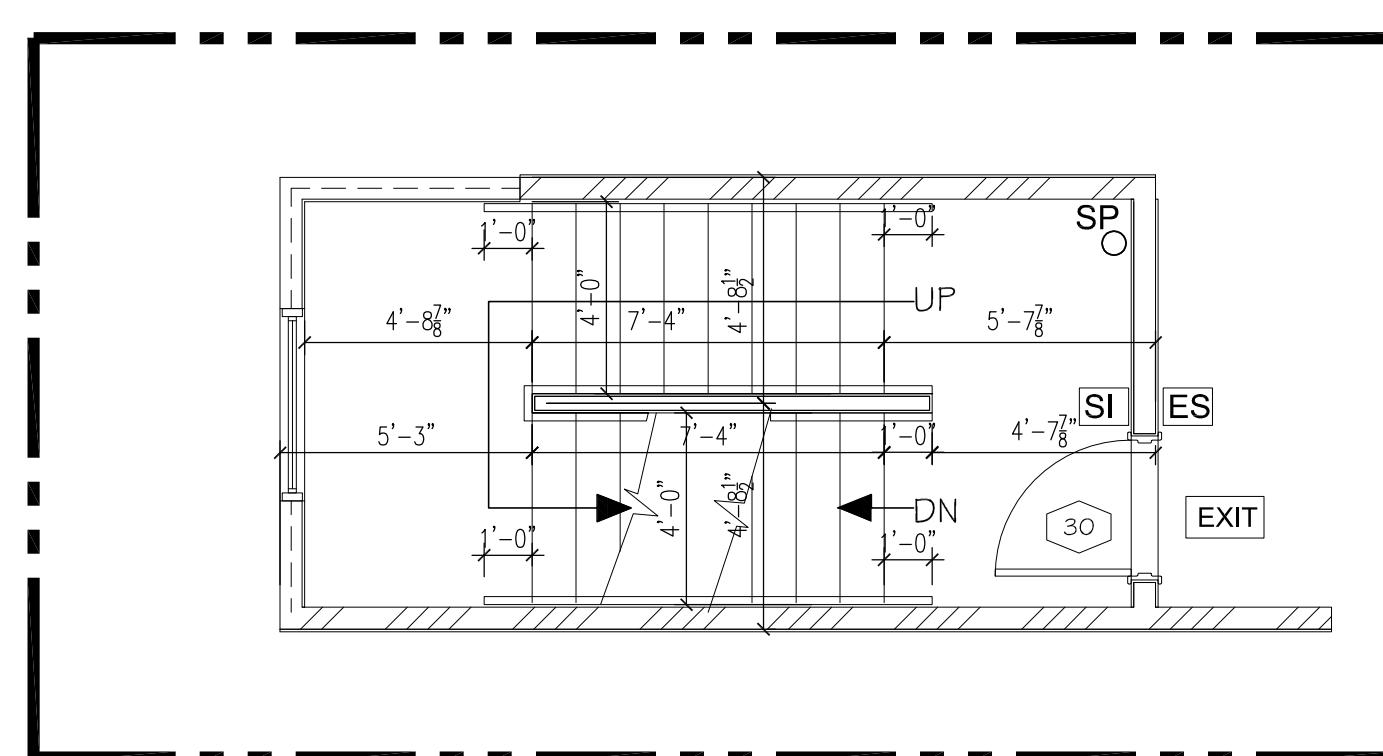
2ND FLOOR PLAN



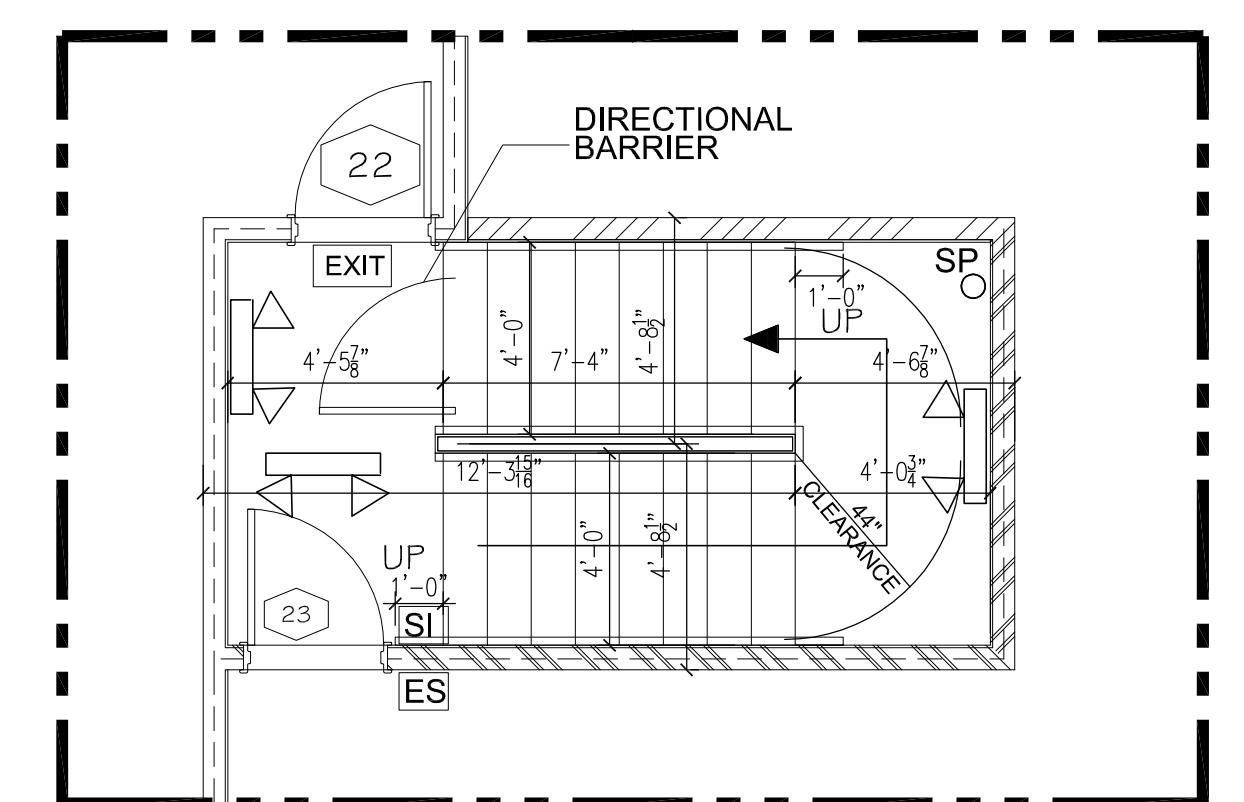
1ST FLOOR PLAN
STAIR #1



3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN
STAIR #2

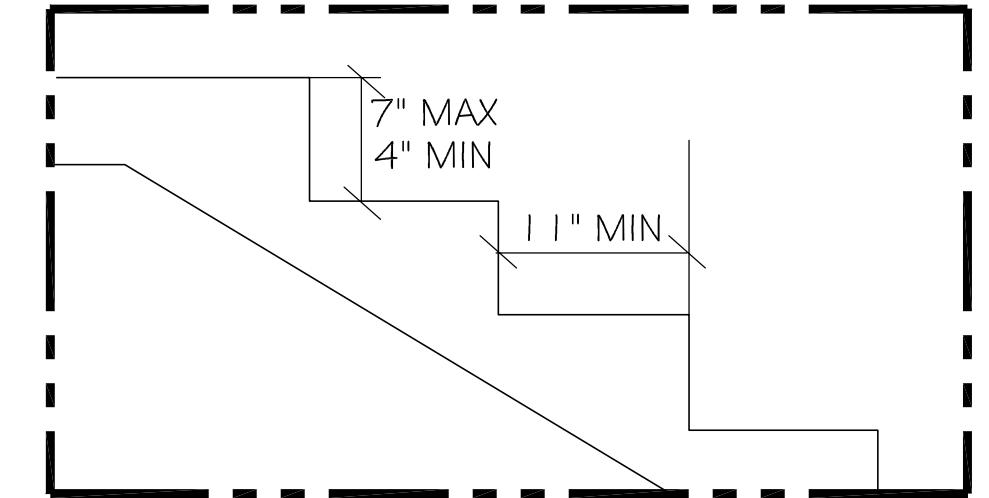
STAIR STRIPPING
AT ALL OUTSIDE STAIRS THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
AT ALL INTERIOR STAIRS THE UPPER APPROACH AND THE LOWER TREAD OF EACH STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT 2 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIRS.

NOTE
SEE SHT D1.2 FOR TREAD RISE & RUN DIMENSIONS
& HANDRAILS

NOTE
ALL 1 HR STAIR ENCLOSURE WALLS
& FLOORS MUST HAVE SUPPORTING ELEMENTS
THAT EXTEND TO THE FOUNDATION

ES INDICATES TACTILE EXIT SIGN
SEE SHT A0.4

SI INDICATES FLOOR IDENTIFICATION
SEE SEC 1023.9 FOR SIGNAGE REQUIREMENTS
& SIGNAGE REQUIREMENTS SHT A0.2



EXTERIOR STAIRS
SEE SHT A0.5 FOR HANDRAILS

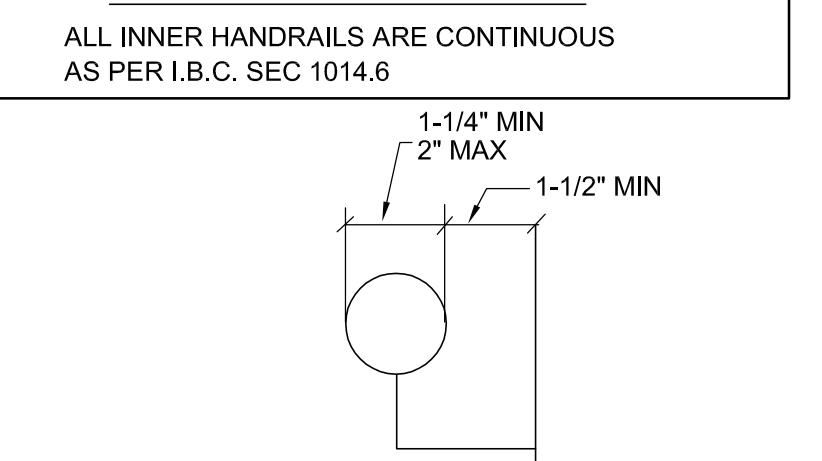
TACTILE STAIR LEVEL SIGN
A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIT STAIRWAY AND THE IDENTIFICATION OF THE STAIR. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITIONS. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR-LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH IICC A117.1-2009 SHALL BE LOCATED AT EACH FLOOR-LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE INTERIOR EXIT STAIRWAY INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL.

STAIR TREADS
ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
TREADS SHALL HAVE SMOOTH, ROUND, OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGE).

THE NOSING SHALL NOT PROJECT MORE THAN 1-1/2" PAST THE FACE OF THE RISER BELOW.

STAIR RISE & RUN
OPEN RISERS ARE NOT PERMITTED. ON ANY GIVEN FLIGHT OF STAIRS, ALL STEPS SHALL HAVE UNIFORM TREAD WIDTHS CONSISTENT WITH I.B.C. SEC 1011.5.2 STAIR TREADS SHALL BE NO LESS THAN 11" DEEP, MEASURED FROM RISER TO RISER. RISERS SHALL BE SLOPED OR THE UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT LESS THAN 60 DEGREES FROM THE HORIZONTAL.

HANDRAILS
STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES WITH EXTENSIONS ON TOP & BOTTOM AS SHOWN ON PLANS ON THIS SHEET.
ENDS SHALL BE RETURNED TO THE WALL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS AS PER I.B.C. SEC 1014.6



HANDRAIL REQUIREMENTS

LEGEND	
2x4 STUD WALL (1 HR)	
CORRIDOR WALL (1 HR)	NOTE: CORRIDOR HANDRAIL
PLUMBING CORRIDOR WALL (1 HR)	
PARTY WALL (1 HR)	
EXTERIOR WALL	
WALL - (2 HR)	
EXTERIOR WALL (2 HR)	
WALL - GENERIC (2 HR)	
(C02) ROOM NUMBER INDICATOR	
(D01) DOOR INDICATOR	
(D02) DETAIL INDICATOR (SEE D1, SHTS)	

STAIR ENCLOSURE PLANS

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

ARCHITECTS

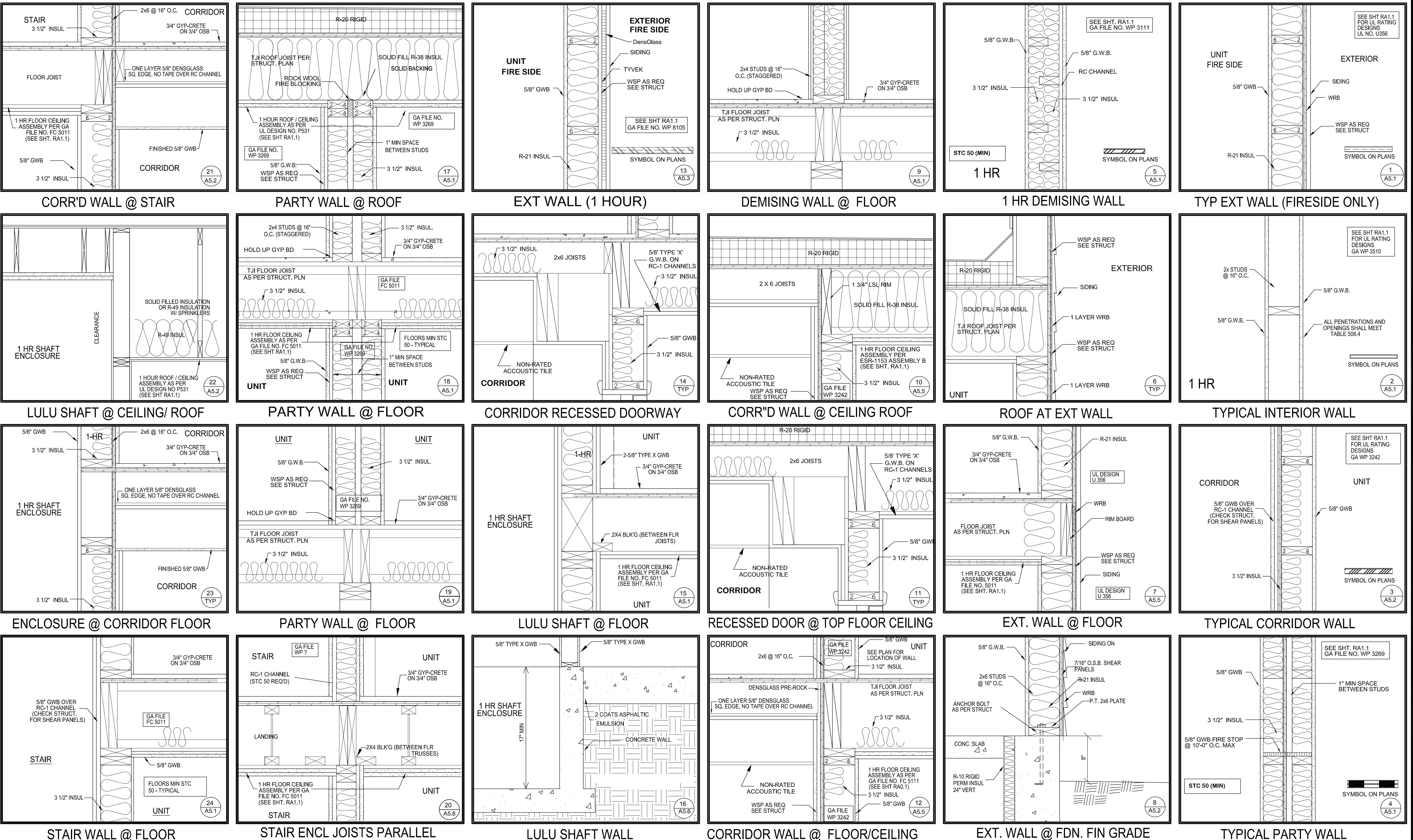
EMAIL: info@cmarch.com
PHONE: 425-353-2888

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REGISTERED
CHARLES E. MORGAN
STATE OF WASHINGTON

DATE	4 OCT 23
REVISION	▲ 7 MAR 24

SHEET

A7.1



DATE	4 OCT 23
REVISION	7 MAR 24

SHEET

DETAILS
SCALE: NTS

D1.1

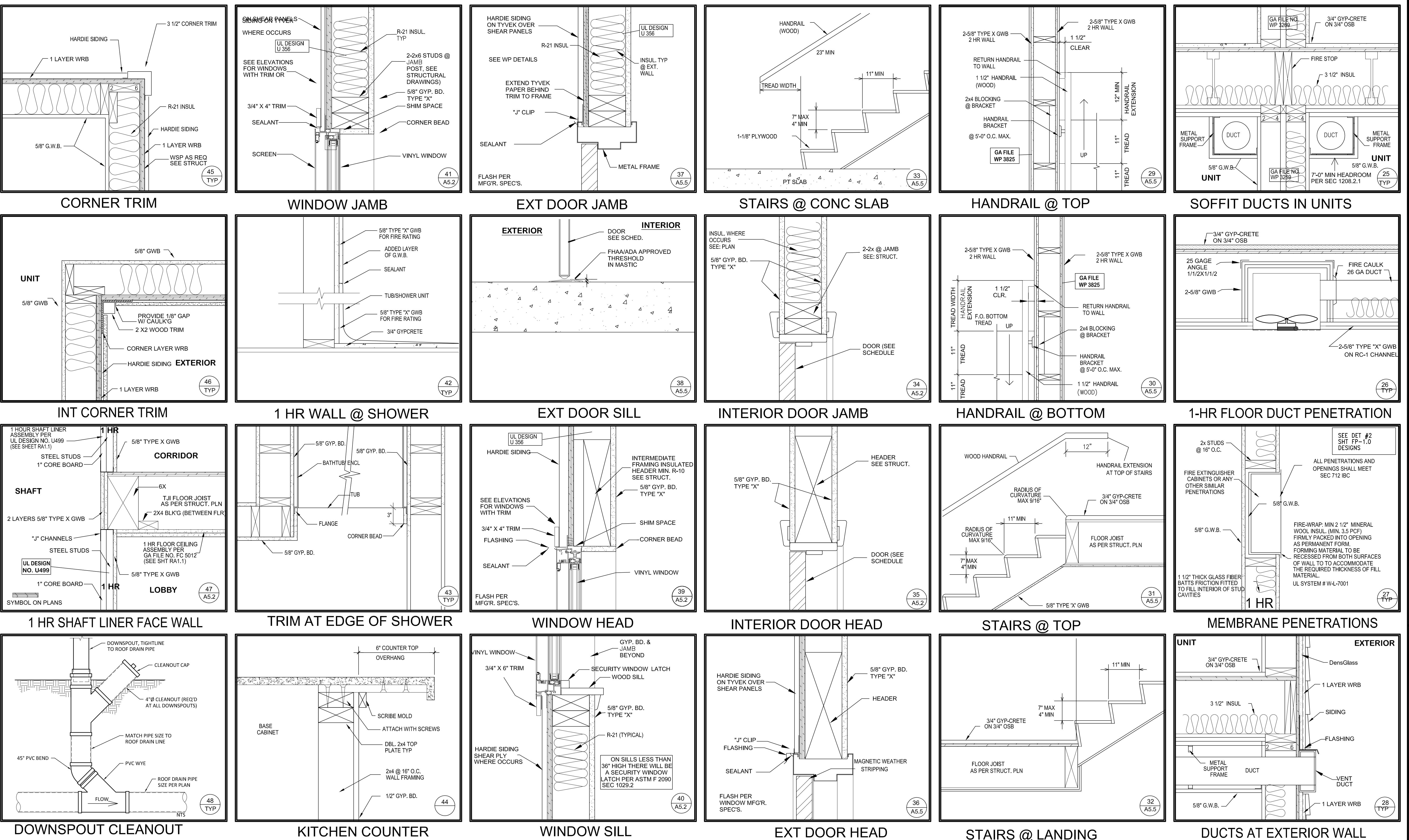
TL-9726 REGISTERED
CHARLES E. MORGAN
CHARLES E. MORGAN
STATE OF WASHINGTON

CHARLES MORGAN & ASSOCIATES, LLC

ARCHITECTS

7301 BEVERLY LANE
EVERETT, WA 98203

PROJECT: THE TALMON
LOCATION: CENTER STREET, LA CONNER, WA
DEVELOPER: KSA INVESTMENTS, LLC



DATE: 4 OCT 23
REVISION: 7 MAR 24

SHEET

DETAILS
SCALE: NTS

D1.2

TL-9726

REGISTERED
ARCHITECT
Charles E. Morgan
CHARLES E. MORGAN
STATE OF WASHINGTON

ARCHITECTS

7301 BEVERLY LANE
EVERETT, WA 98203

PROJECT: THE TALMON
LOCATION: CENTER STREET, LA CONNER, WA
DEVELOPER: KSA INVESTMENTS, LLC

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL

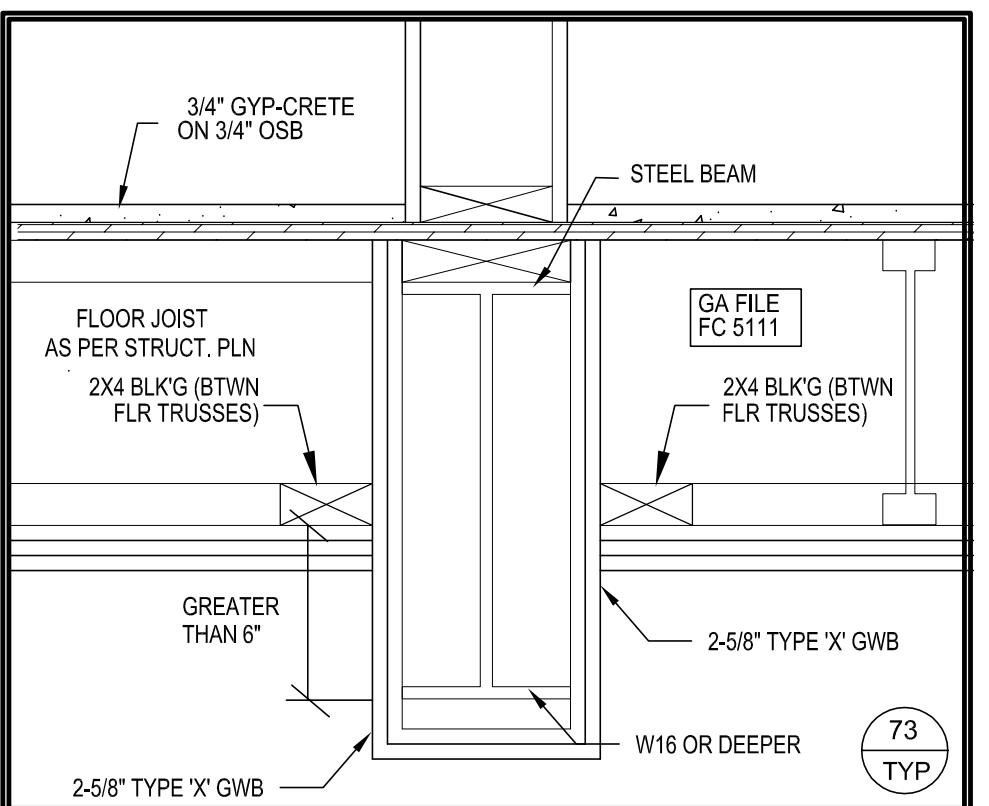
TL-9726 REGISTERED
CHARLES E. MORGAN ARCHITECT
CHARLES E. MORGAN STATE OF WASHINGTON

DATE: 4 OCT 23
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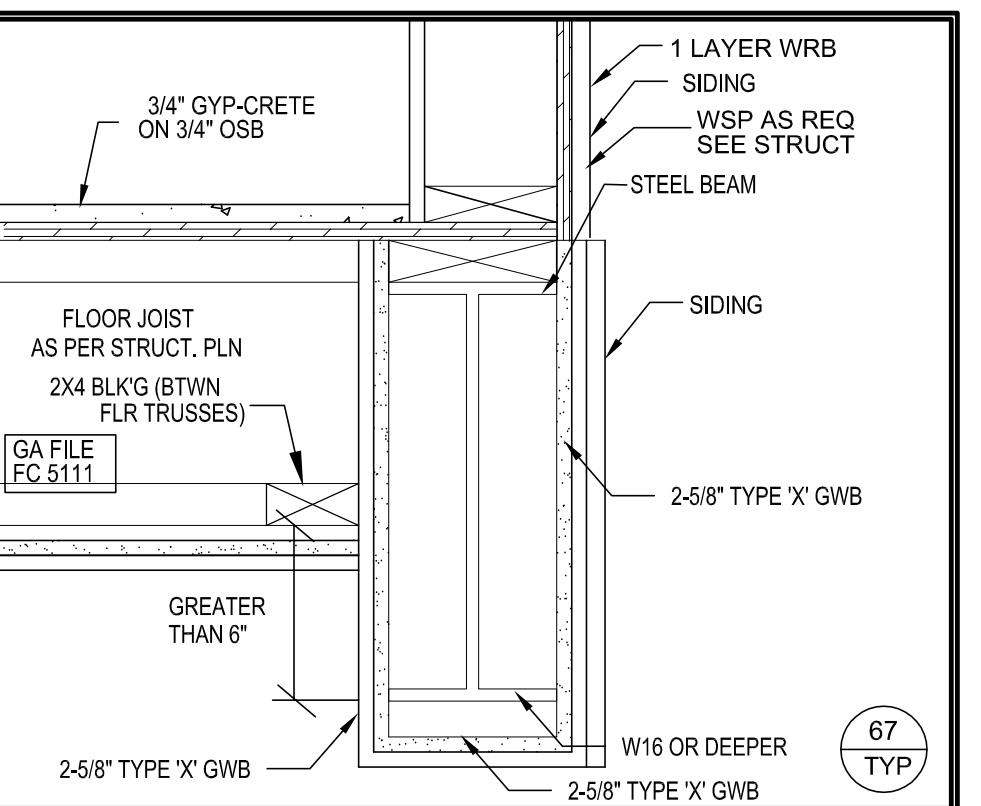
SHEET

DETAILS
SCALE: NTS

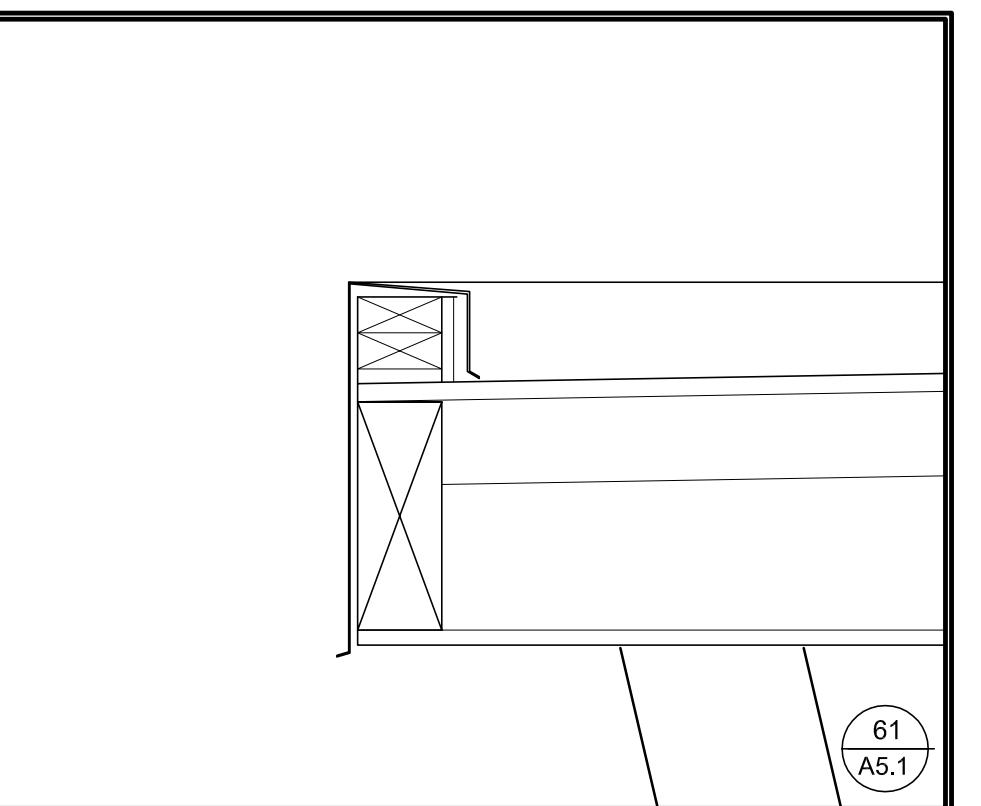
D1.3



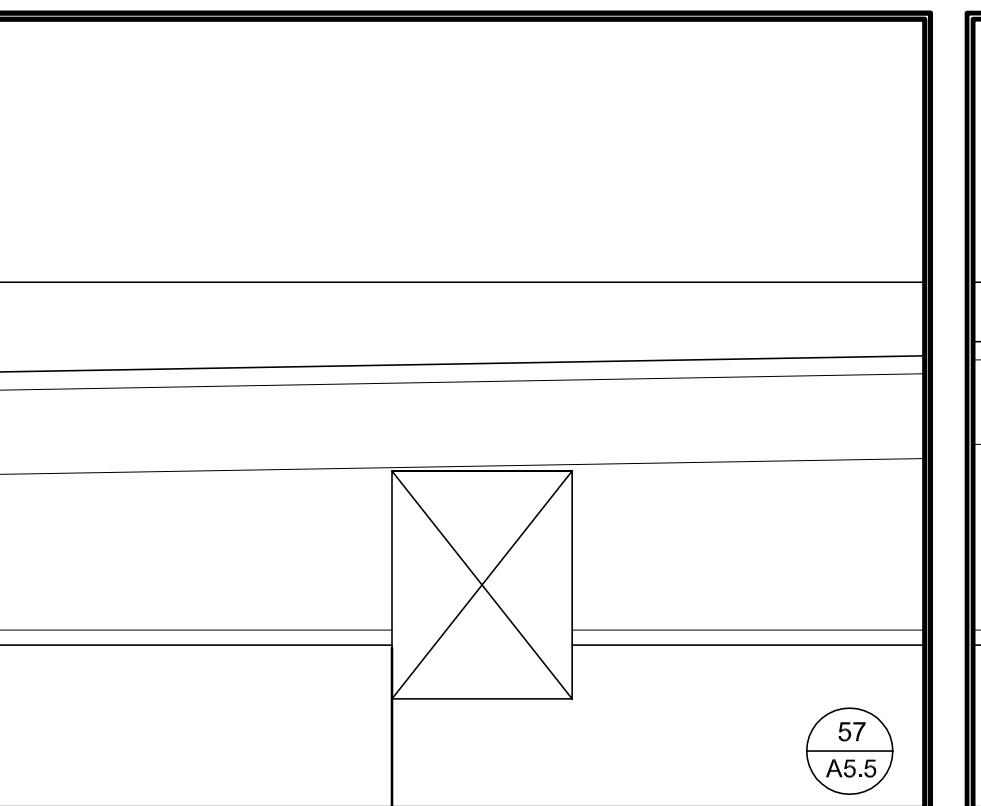
1 HOUR CEILING @ BEAM



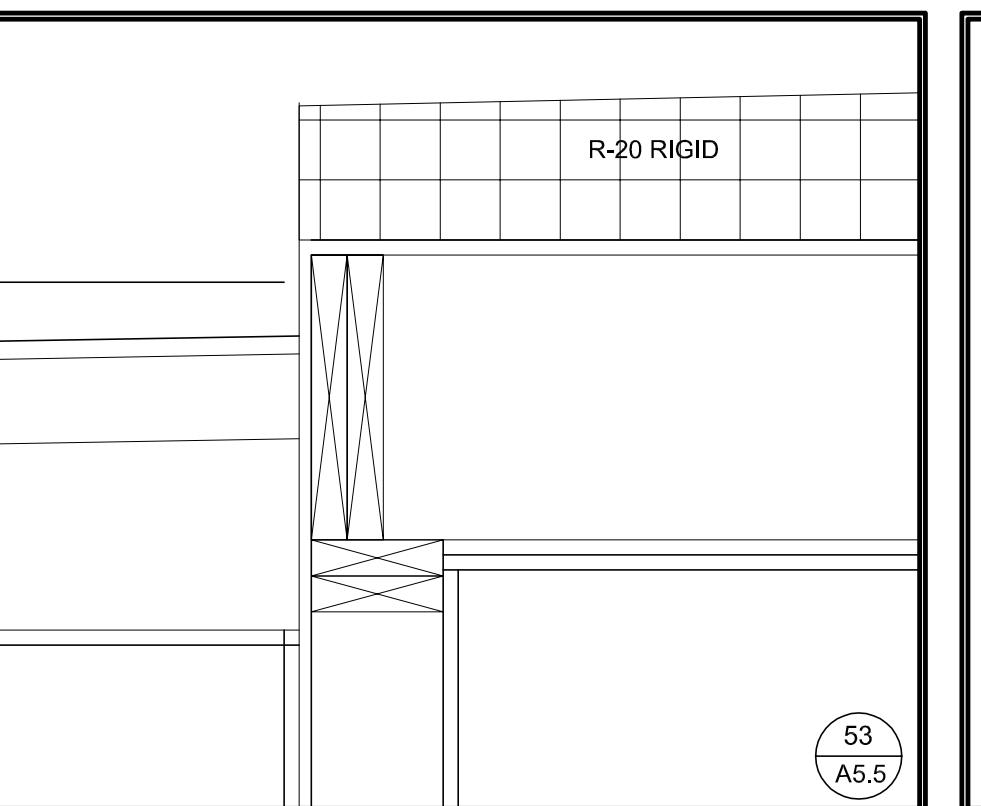
1 HOUR CEILING @ BEAM



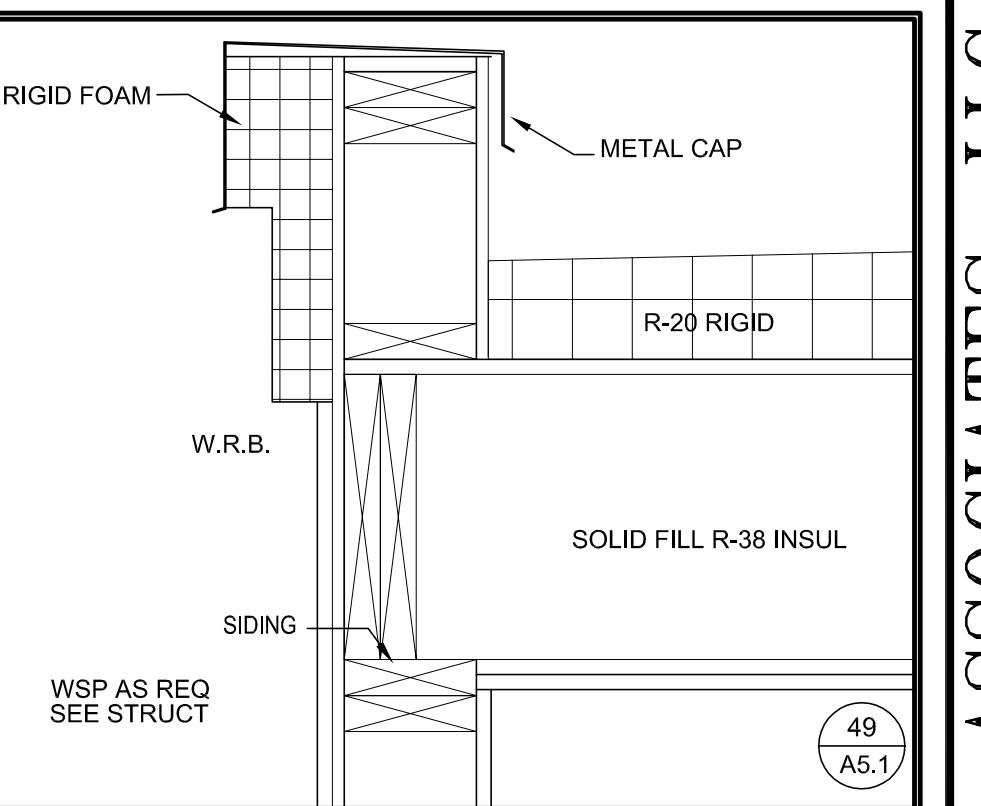
EYEBROW ROOF WITH CURB



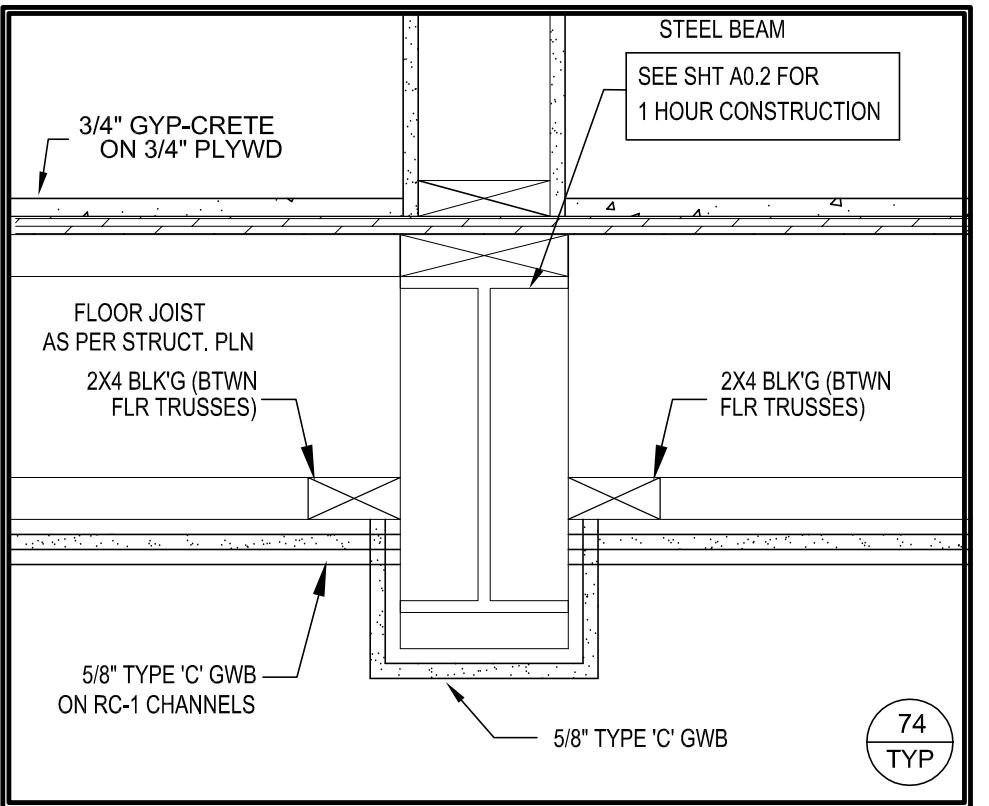
EYEBROW ROOF ABOVE DECK



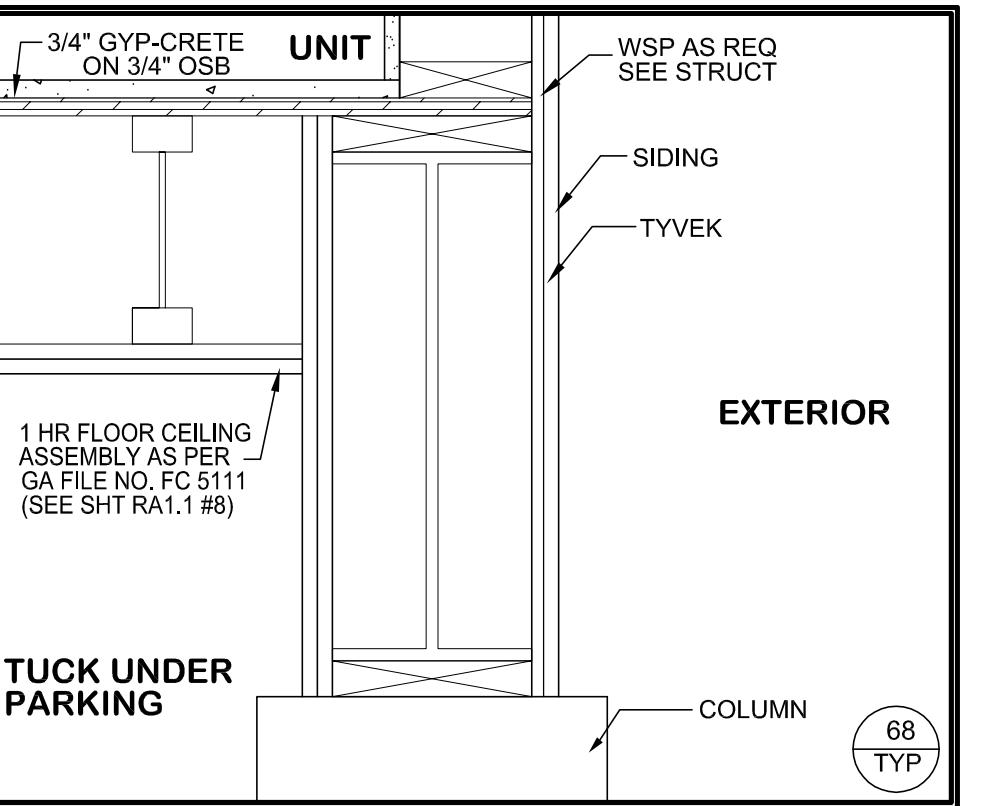
ROOF AT EXTERIOR WALL



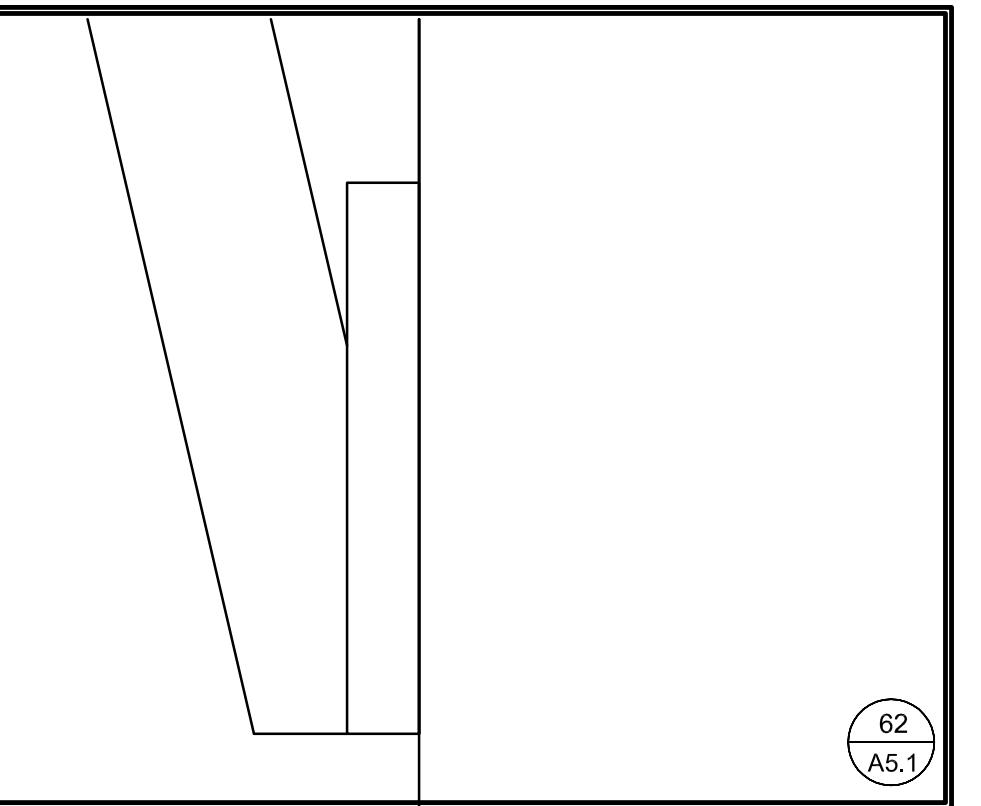
RAISED CURB



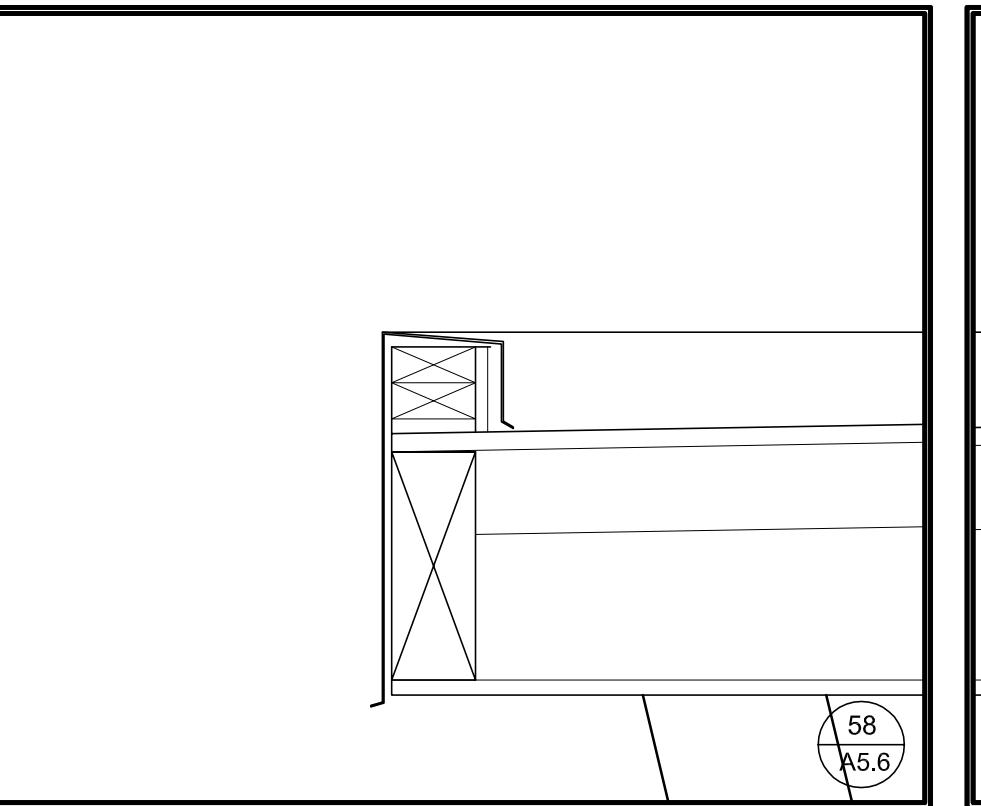
1 HOUR CEILING @ BEAM



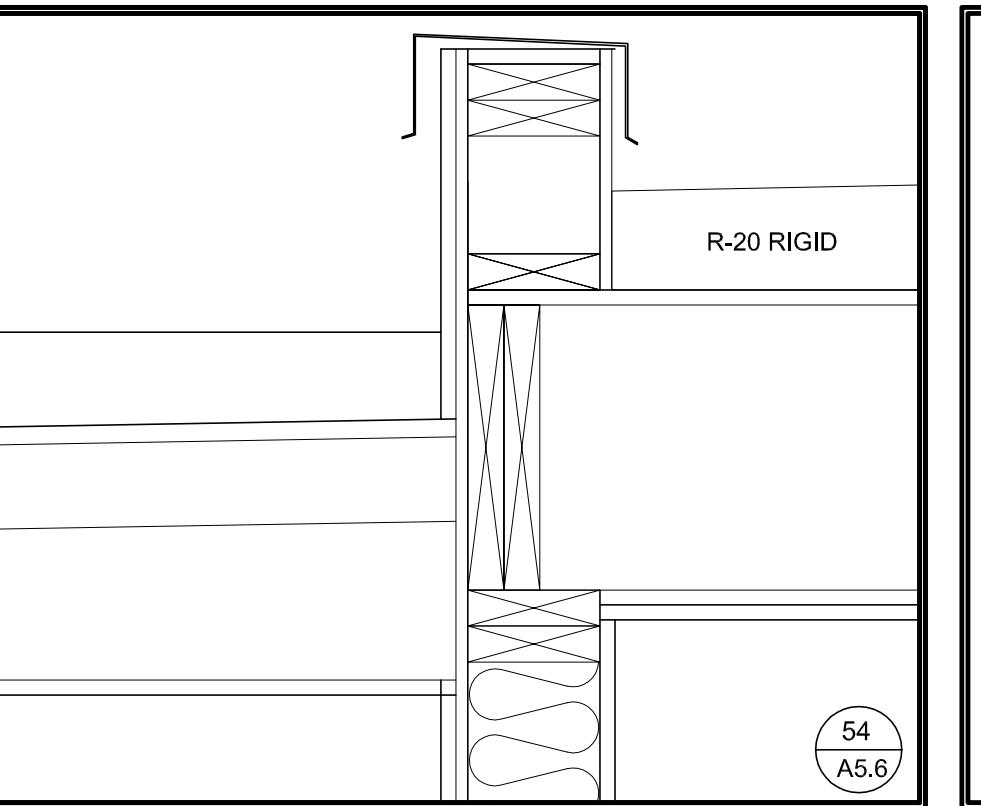
COLUMN TO I-BEAM



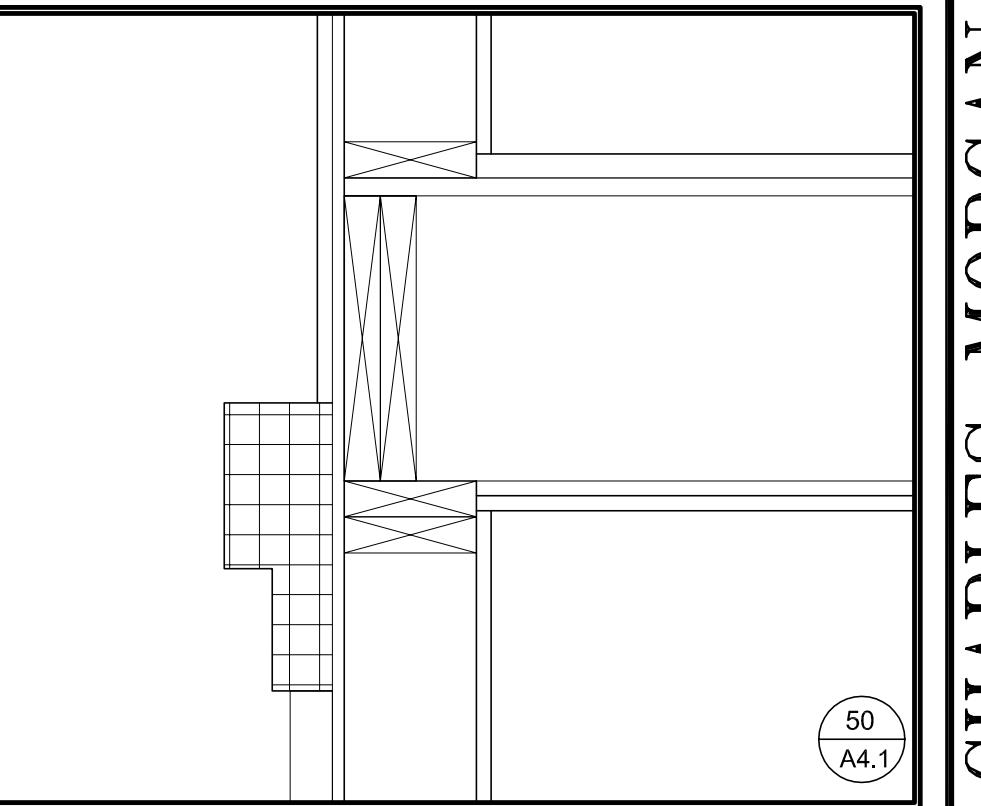
EYEBROW ROOF SUPPORT



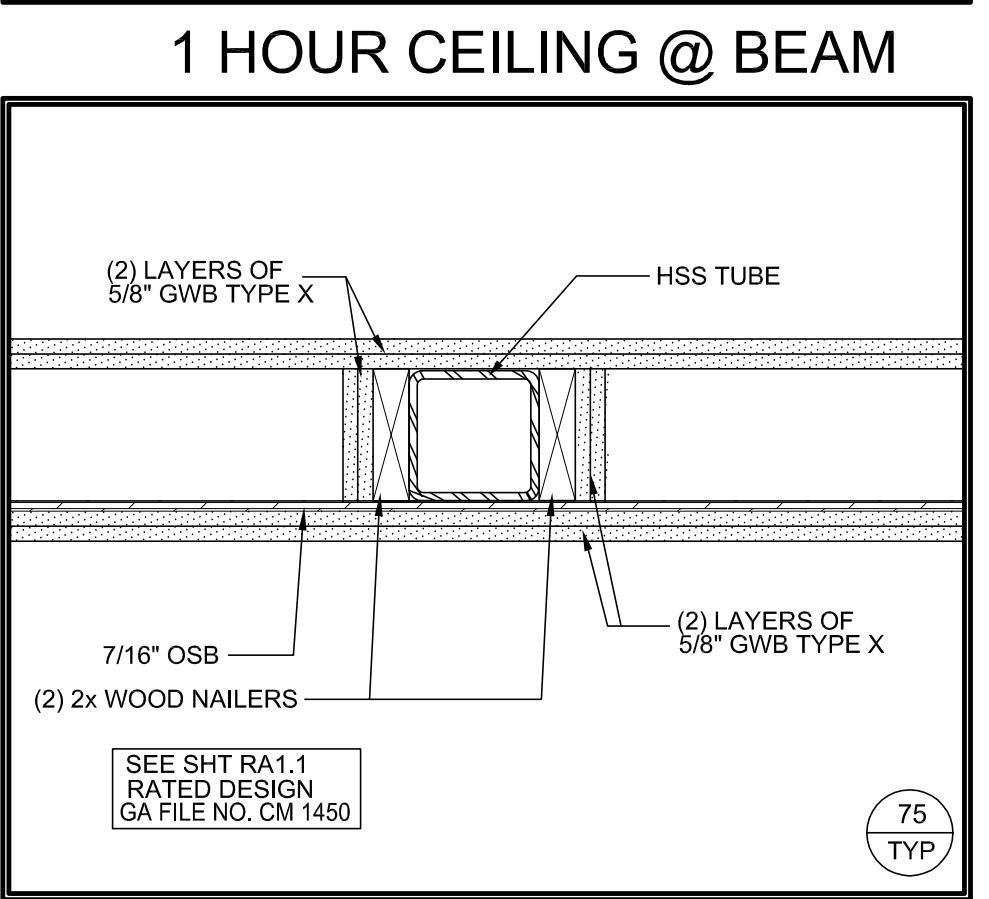
EYEBROW ROOF WITH CURB



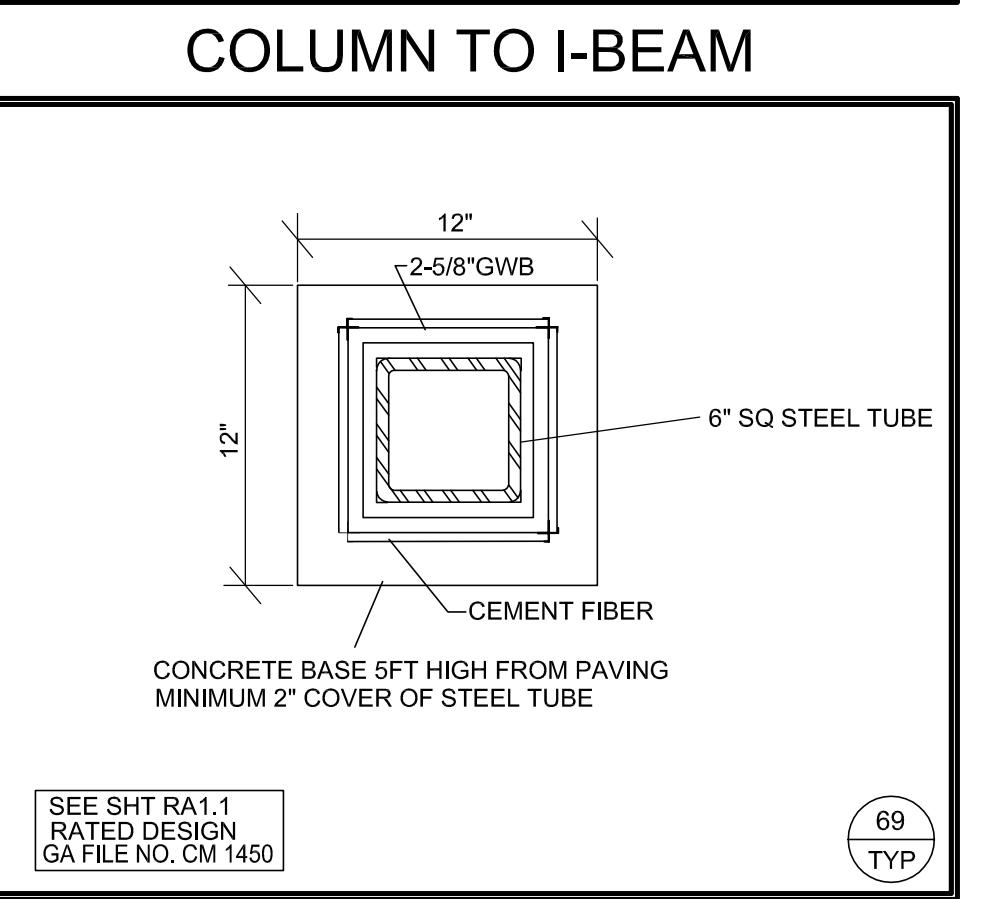
ROOF AT EXTERIOR WALL



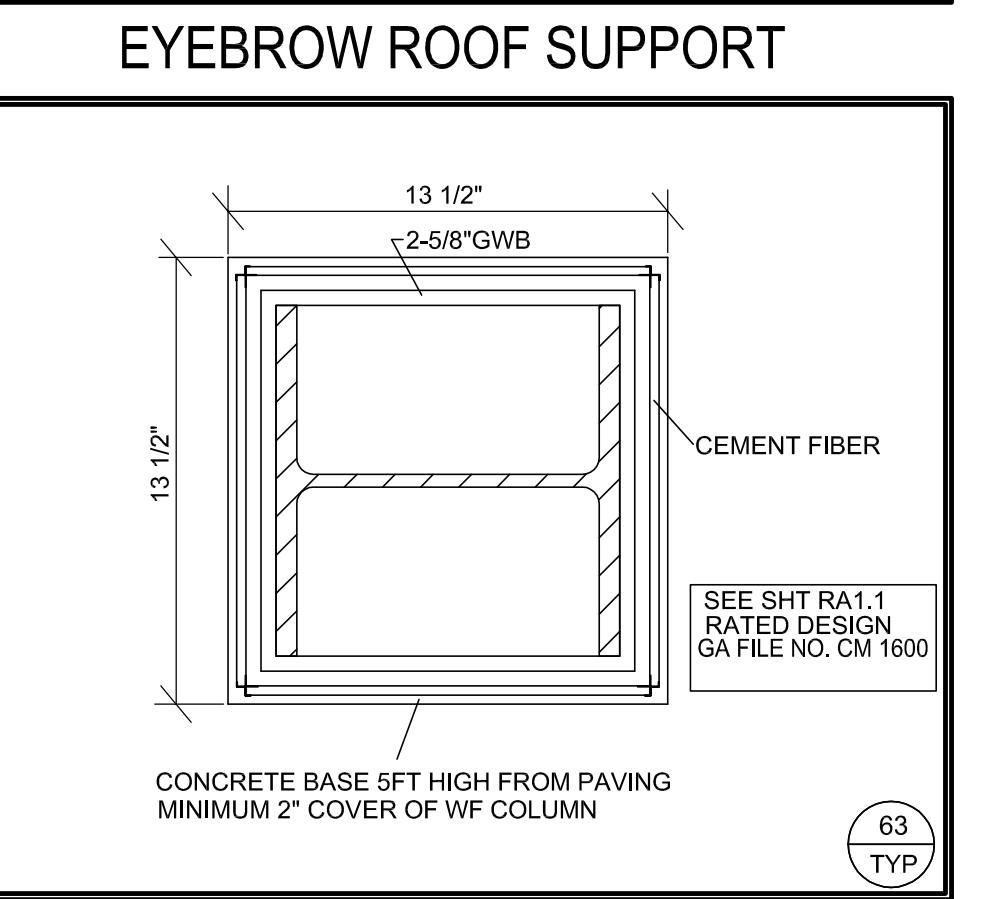
ARCHITECTURAL POPOUT



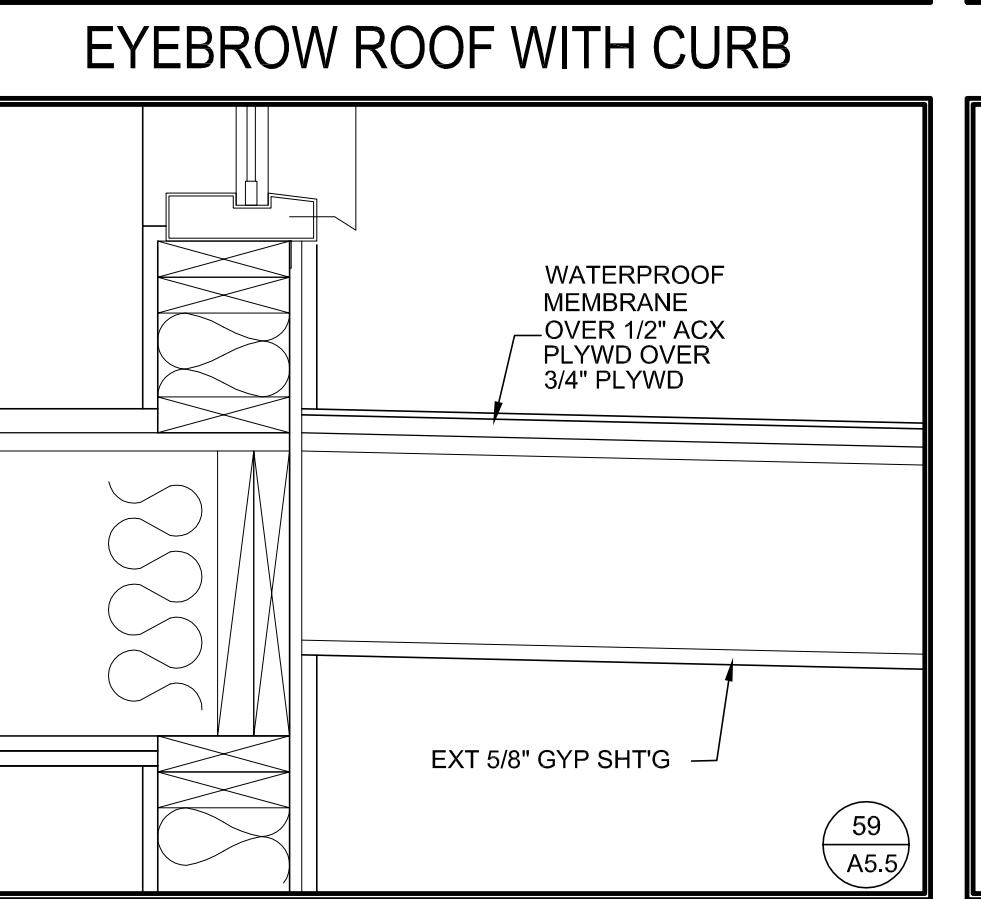
INTERIOR WITHIN STUD WALL HSS FIRE PROTECTION



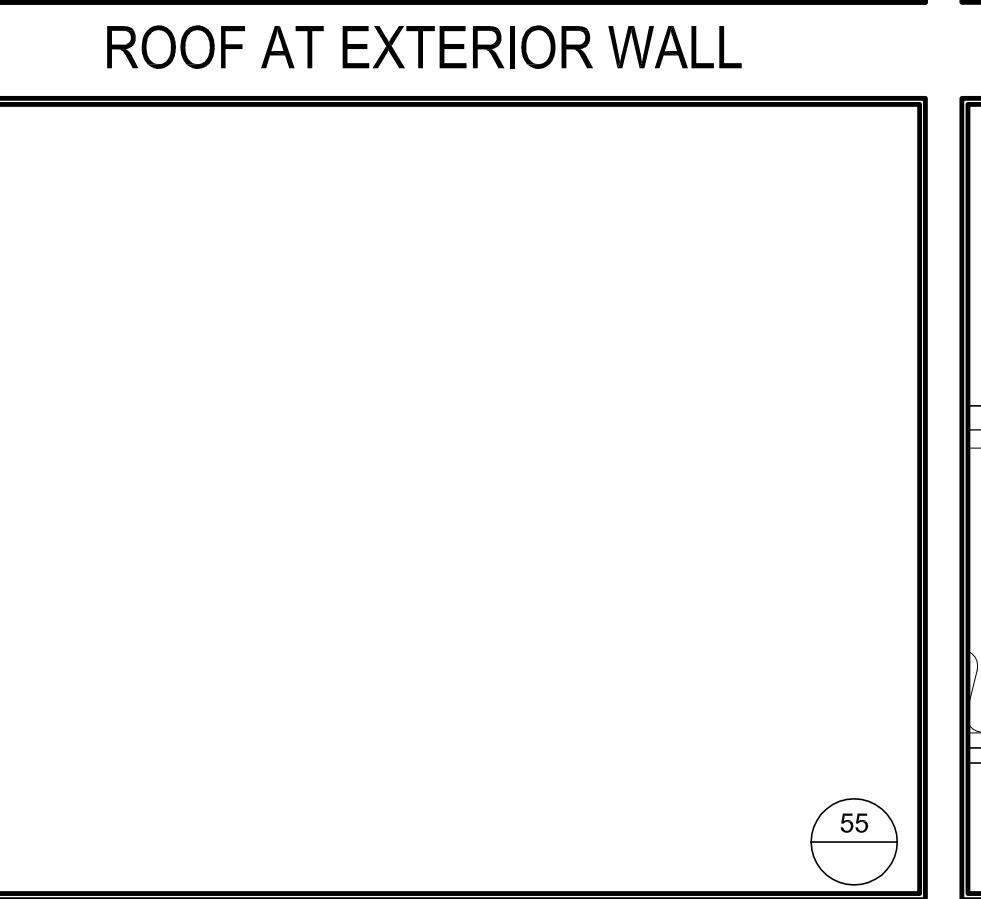
PARKING GARAGE COLUMN



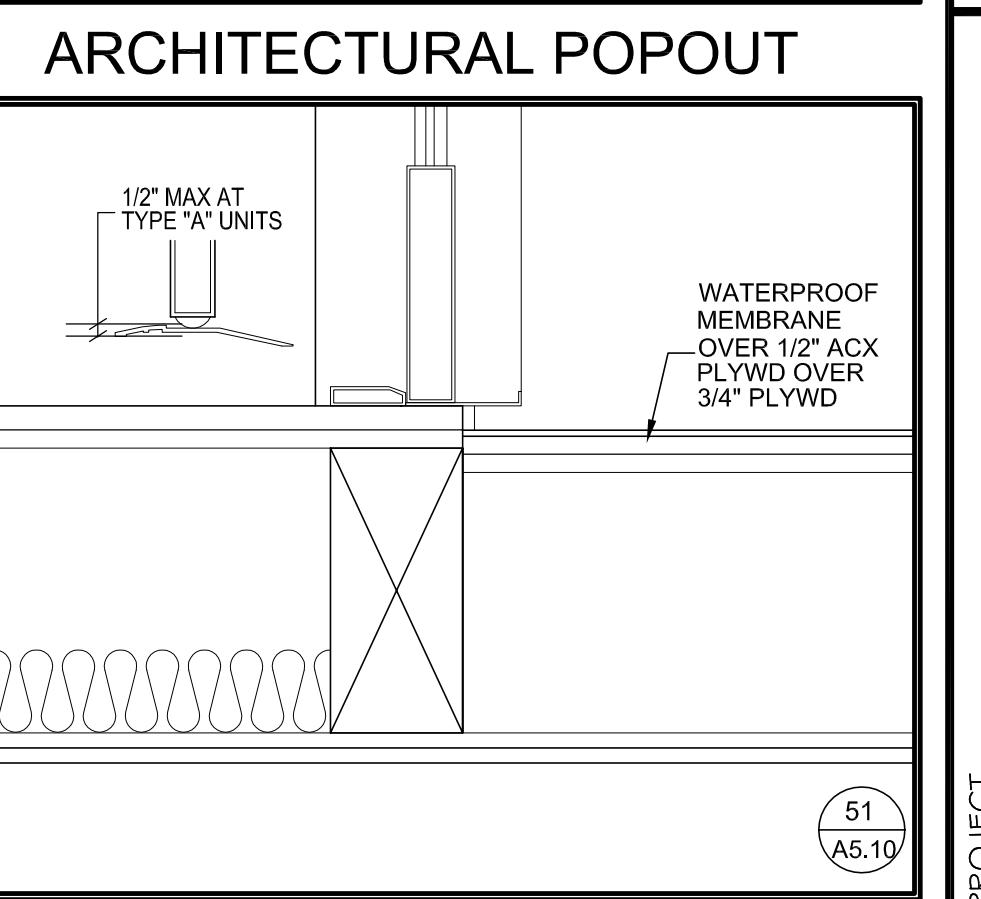
PARKING GARAGE COLUMN



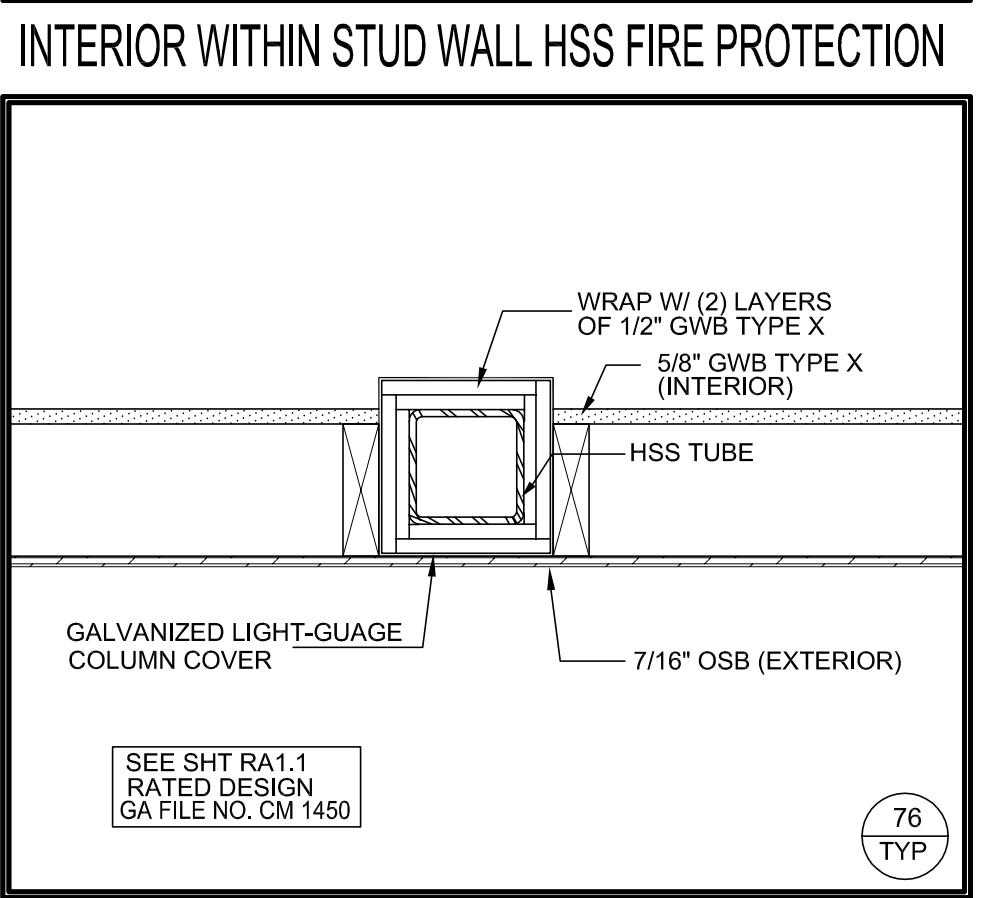
EXTERIOR WALL AT EXT DECK



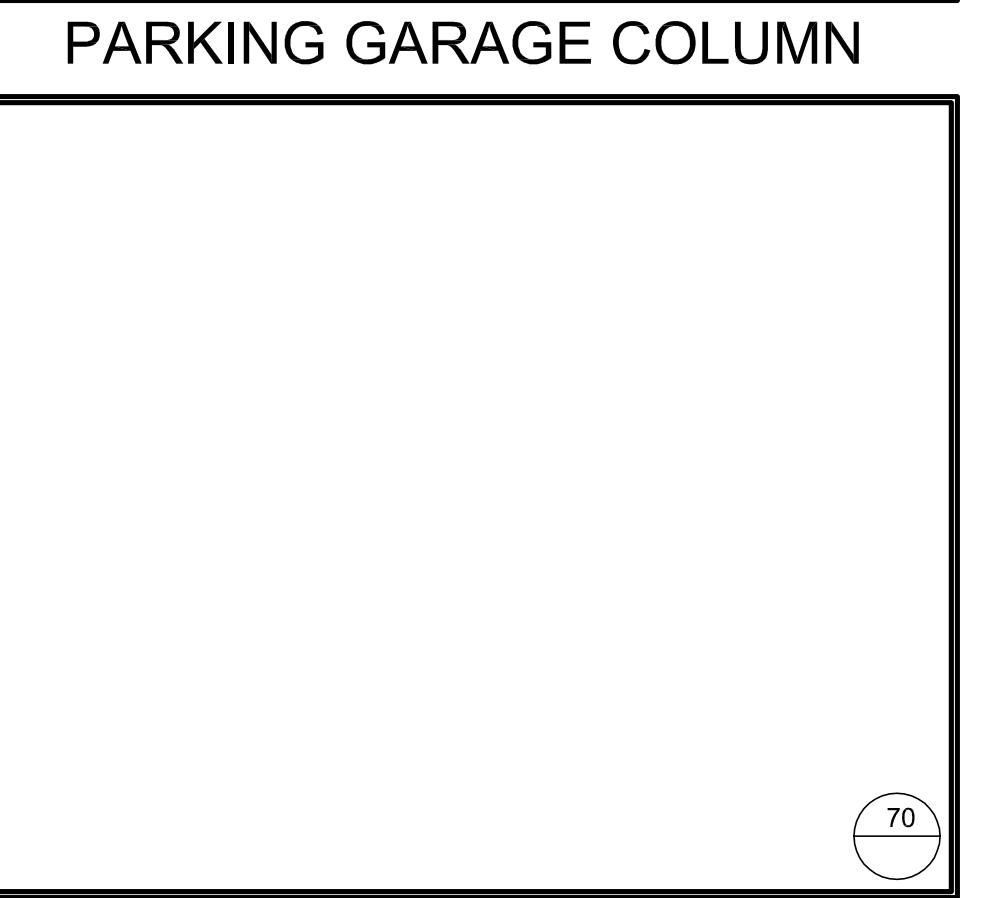
EXTERIOR WALL AT EXT DECK



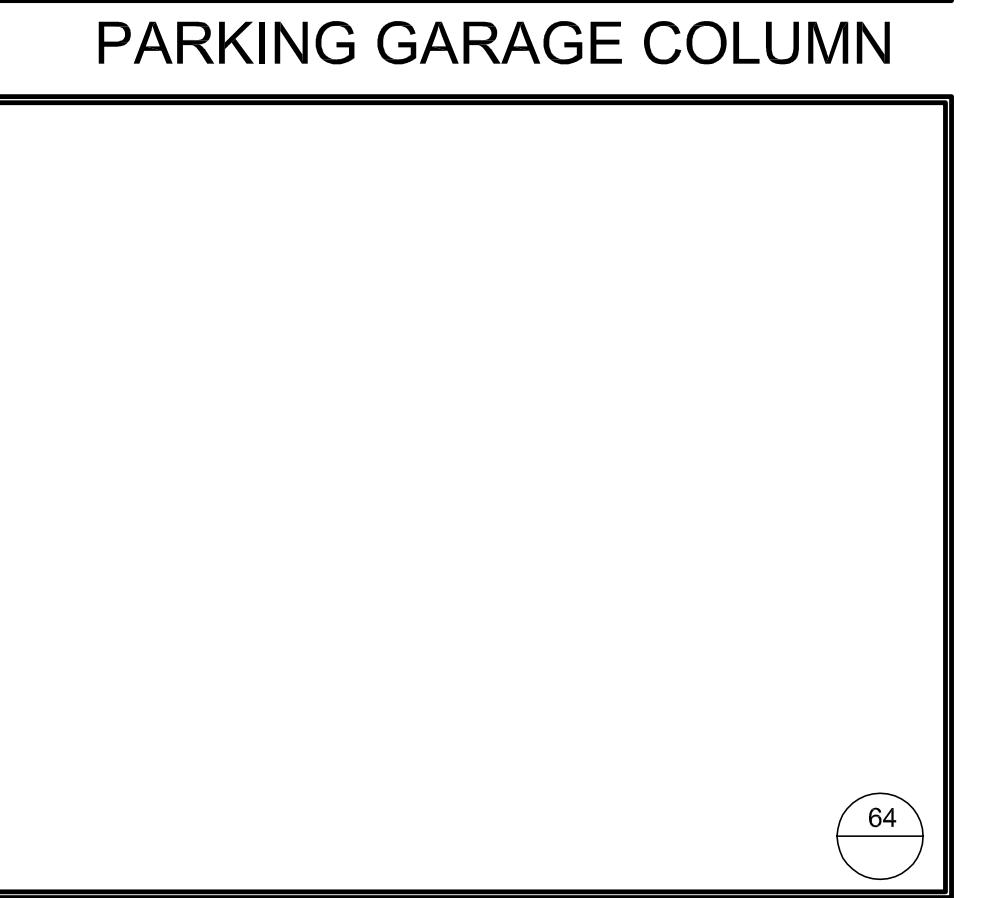
DOOR @ EXT DECK



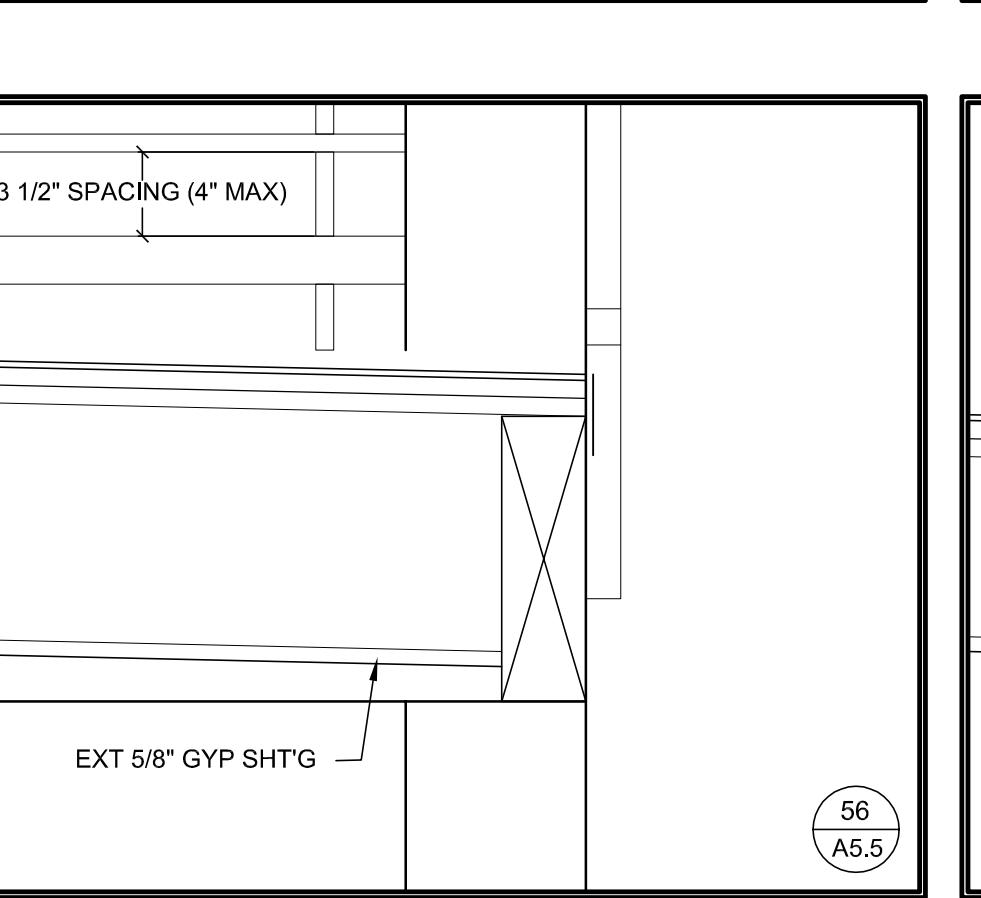
EXTERIOR WITHIN STUD WALL HSS FIRE PROTECTION



EXTERIOR WALL AT EXT DECK



COLUMN AT DECK



DECK

CHARLES MORGAN & ASSOCIATES, LLC

COLUMNS, NONCOMBUSTIBLE (TYPE 1)

GA FILE NO. CM 1450	10	GYPSUM WALLBOARD, STEEL COLUMN COVER	1 HOUR FIRE
Base layer: 1/2" type X gypsum wallboard applied around TS4x4x0.188 tube steel column and held in place with paper masking tape. Second layer: 1/2" type X gypsum wallboard applied around column and held in place with paper masking tape. Face layer: either 24 ga galvanized steel column cover consisting of two L-shaped sections with snap-lock sheet steel joints or No. 22 ga galvanized steel column covers consisting of two L-shaped sections with lap joints fastened with No. 8x1/2" sheet metal screws 12" o.c. Horizontal joints staggered 24" between layers.			
Fire test: UL NC505-(1-6), 71NK2639 12-23-75; UL NC505, 77NK1516 UL Design L526			
COLUMNS, NONCOMBUSTIBLE			

IBC TABLE 721.1(1), ITEM 1-1.6	11
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1 HOUR BEAM PROTECTION

GA FILE NO. BM 1137	12	STEEL FRAME, GYPSUM WALLBOARD
Base layer 1/2" proprietary type X gypsum wallboard applied to beam cage with 1" Type 5-1/2 drywall screws 12" o.c. FACE layer: 1/2" proprietary type X gypsum wallboard applied to beam cage with 1-5/8" Type S-1 drywall screws 12" o.c. Joints offset from base layer joints.		
Beam cage fabricated from No. 24 gauge 7/8" X 1-3/8" steel angles screw attached to steel joists at beam top flange and No. 25 gauge 2-1/2" steel numbers hooked over beam lower flange and supporting 1-5/8" steel studs 24" o.c. Minimum beam size W8 X 15. (One hour unframed beam.)		

PROPRIETARY GYPSUM BOARD

American Gypsum Company BPI America, Inc. G-P Gypsum Lafarge North America Inc. National Gypsum Company	1/2" FIREBLOC TYPE C 1/2" ProRock (TM) Type C gypsum Panels 1/2" ToughRock (R) Fireguard (R) C 1/2" Firecheck (R) Type C 1/2" Gold Bond (R) Brand FIRE-SHIELD C (TM) Gypsum Wallboard
PABCO Gypsum Temple-Inland Forest Products Corp. United States Gypsum Co.	

COLUMNS, NONCOMBUSTIBLE

GA FILE NO. CM 1600	13	1 HOUR FIRE
Base layer 1/2" type X gypsum wallboard applied around W6x15.5 column and held in place with paper masking tape. Second layer: 1/2" type X gypsum wallboard applied around column and held in place with paper masking tape. Face layer: either No. 24 MSG galvanized steel column cover consisting of two L-shaped sections with snap-lock sheet steel joints or No. 22 MSG galvanized steel column covers consisting of two L-shaped sections with lap joints fastened with No. 8x1/2" sheet metal screws 12" o.c.		

COLUMNS, NONCOMBUSTIBLE

IBC TABLE 721.1(1), ITEM 1-7.1	14
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2 layers: 1/2" gypsum wallboard adhesively secured to column flanges and successive layers. Wallboard applied without horizontal joints. Column cover: 1/2" gypsum wallboard layered over outer layer secured to column with doubled 0.049 inch (1.24 mm) (No. 18 B.W. gauge) steel wire ties spaced 15" (381 mm) on center. Exposed corners taped and treated.

1 HOUR DEMISING WALL ASSEMBLY

GA FILE NO. WP 3111	15	PROPRIETARY	1 HOUR FIRE	55 TO 59 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD STUDS, INSULATION				
Fire Design: One layer: 5/8" proprietary type X gypsum wallboard applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. staggered 8" o.c. on 2 x 6 wood plates with 1-1/4" screws 8" o.c. Joints staggered 24" on opposite sides. (LOAD-BEARING) Minimum 3-1/2" glass fiber insulation woven in cavity.				
Sound Design: Sound tested with resilient channels on one side and 3-1/2" glass fiber insulation in stud cavity on both sides.				
PROPRIETARY GYPSUM BOARD American Gypsum Company LLC 5/8" FireBloc Type X Gypsum Board				

Thickness: 6.3/4" (Fire)
7 1/4" (Sound)
Approx. Weight: 8 psf (Fire)
10 psf (Sound)
Fire test: UL R14196, 4787112870, 10-14-15
Sound Test: RAL TL11-165, 7-13-11

COLUMNS, NONCOMBUSTIBLE (TYPE 1)

GA FILE NO. CM 1450	10	GYPSUM WALLBOARD, STEEL COLUMN COVER	1 HOUR FIRE
Base layer: 1/2" type X gypsum wallboard applied around TS4x4x0.188 tube steel column and held in place with paper masking tape. Second layer: 1/2" type X gypsum wallboard applied around column and held in place with paper masking tape. Face layer: either 24 ga galvanized steel column cover consisting of two L-shaped sections with snap-lock sheet steel joints or No. 22 ga galvanized steel column covers consisting of two L-shaped sections with lap joints fastened with No. 8x1/2" sheet metal screws 12" o.c. Horizontal joints staggered 24" between layers.			
Fire test: UL NC505-(1-6), 71NK2639 12-23-75; UL NC505, 77NK1516 UL Design L526			
COLUMNS, NONCOMBUSTIBLE			

1 HOUR FLLOOR-CEILING SYSTEM, WOOD FLOOR

GA FILE NO. FC 5011	7	PROPRIETARY	1 HOUR FIRE	60 TO 64 STC SOUND
WOOD I-JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD				

Base layer: 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient channels 34" o.c. (16" o.c. when insulation is used) with 1" Type 5 drywall screws 16" o.c. Gyrum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to minimum 10" deep wood I-joists spaced a maximum of 19" o.c. with 1-1/4" Type 5 drywall screws.

FACE layer: 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient channels 34" o.c. (16" o.c. when insulation is used) with 1" Type 5 drywall screws 16" o.c. at the ends located midway between the resilient channels. Gyrum board insulation secured to subfloor or loose fill insulation applied directly over gypsum board. Wood I-joists supporting 19/32" wood structural panel subfloor applied at right angles to joints with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor.

STC rated with 1/4" spacers 24" o.c., 3-1/2" glass fiber insulation in joist spaces, 3/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of sheet vinyl, engineered wood laminate, and ceramic tile. (STC 64 when sheet vinyl or engineered wood laminate is applied to floor; STC 66 when tested with ceramic tile applied to floor.)

PROPRIETARY GYPSUM COMPONENTS
United States Gypsum Company
1/2" SHEETROCK brand FIRECODE C
Core Gypsum Panels
LEVELROCK brand Floor Underlayment

1 HOUR FLOOR/CEILING ASSEMBLY

IBC 721.1(3) #21 (21-1.1)	8	FLOOR/CEILING CONSTRUCTION	1 HOUR FIRE
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21. Wood joists, wood I-joists, floor trusses and flat or pitched roof trusses spaced a maximum of 24" o.c. (if 2x6 spaced 16" o.c. maximum) with 1/2" wood structural panels with exterior glue applied at right angles to top of joist or top of truss or flat roof truss. The wood structural panel thickness shall not be less than 1/2" and shall not exceed that required by chapter 23.

21-1.1. Base layer 5/8" type X gypsum wallboard applied at right angles to joist or truss 24" o.c. with 1-1/4" Type X or Type V drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or veneer base applied at right angles to joist or truss through base layer with 1-7/8" Type 5 or Type W drywall screws 12" o.c. at joints and intermediate joist or truss. Face layer drywall screws placed 2" back on either side of face layer end joints, 12" o.c.

1 HOUR ROOF-CEILING SYSTEM, WOOD FLOOR

ESR-1153 ASSEMBLY B	9	WOOD I-JOISTS, WOOD STRUCTURAL PANELS, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD	1 HOUR FIRE
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1. SHEATHING — Single layer of 48/24 span rated, tongue-and-groove, sheathing (Exposure 1). When used as a roof-ceiling assembly, the decking is permitted to be any wood deck recognized in the code. Nailed and glue to the top of the TJI joists. Construction adhesive conforming to ASTM D3498 must be applied to the top of the joists prior to placing sheathing. All butt joints of the sheathing must be located over framing members.

2. GYPSUM BOARD — Two layers of 5/8" inch thick, Type X gypsum board complying with ASTM C 1396. For TJI joists spaced 24 inches on-center or less, attach ceiling to joist bottom flange. The first layer of gypsum board must be installed perpendicular to the TJI joists and attached using 2-1/2" inch-long, type 5 screws spaced 12" o.c. on center. The second layer must be fastened to the TJI joists with 2-1/2" inch-long, type 5 screws spaced 12" inches on-center in the field and 8 inches on-center at the butt joints. Type G screws, 1-1/2" inches long, must be spaced 8 inches on-center and 6 inches from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.

3. TJI JOIST — TJI joist installed in accordance with the ESR-1153 report, with a maximum spacing of 24 inches on-center for floor-ceiling assemblies. When used in roof-ceiling assemblies, the joists are permitted to be spaced a maximum of 48 inches on-center.

4. OPTIONAL GLASS FIBER INSULATION — Minimum 3 1/2" inch-thick glass fiber insulation or glass fiber insulation rated R-30 or less. May be installed in the joist plenum when resilient channels are used. The insulation must be placed above the resilient channels between the joist bottom flanges.

5. OPTIONAL RESILIENT CHANNELS — RC-1 Resilient channels spaced 16" inches on-center (may be increased to 24 inches on-center if the joists are spaced 16" inches on-center). Fasten perpendicular to the TJI joists using 1-inch long, Type 5 screws. When resilient channels are used, the resilient channels must be fastened perpendicular to the channels and attached to the resilient channels using 1-inch-long, Type 5 screws spaced 12" inches on-center. The second layer must be installed with the joints staggered from the first layer and attached using 1-5/8-inch-long, type 5 screws. The screw spacing for the second layer of gypsum board must be a maximum of 12 inches on-center in the field and 8 inches on-center at the butt joints. Type G screws, 1-1/2" inches long, must be spaced 8 inches on-center and 6 inches from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.

Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)

Joint staggered 24" on opposite sides. Horizontal bracing required at mid height. (LOAD-BEARING)

Sound Design: Sound tested as constructed for fire.

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