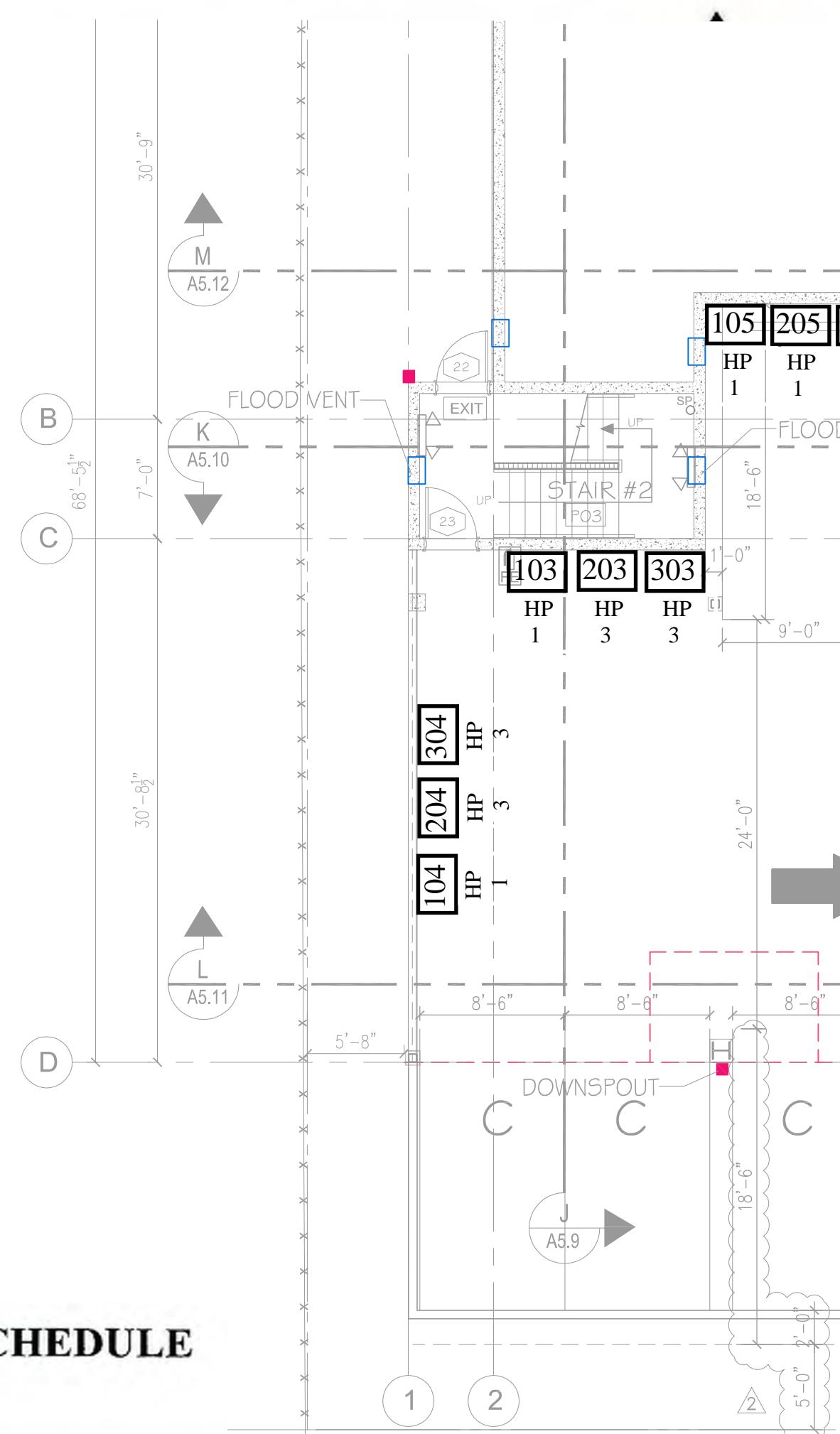


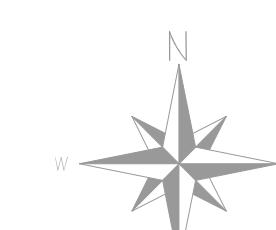
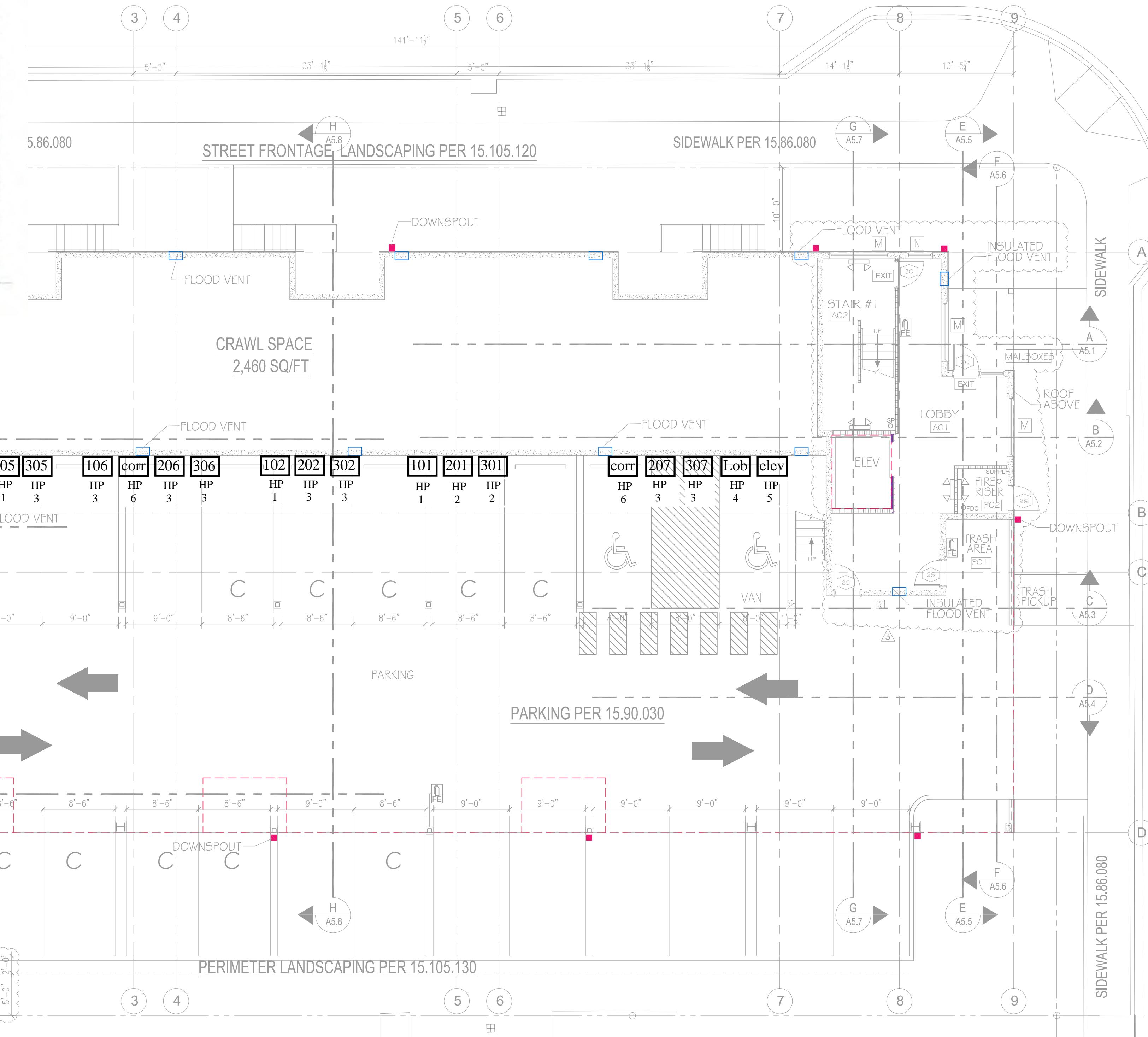
FAN COIL SCHEDULE

	MAKE	MODEL	BTU	POWER	AREA SERVED
AHU-1	BRYANT	619AHBQ06XA3	6,000	208/230-1-60	BEDROOMS
AHU-2	BRYANT	619AHBQ09XA3	9,000	208/230-1-60	LIVING ROOMS, CORRIDORS
AHU-3	<u>BRYANT</u>	619AHBQ12XA3	12,000	208/230-1-60	B&B LIVING ROOMS
AHU-4	<u>BRYANT</u>	619AHBQ12XA3	12,000	208/230-1-60	LOBBY
AHU-5	<u>BRYANT</u>	619AHBQ18XA3	18,000	208/230-1-60	ELEVATOR ROOM
TF	SUNCOAST	TW208P	N/A	120/1/60	BEDROOM TRANSFER
ERV	PANASONIC	FV-04VE1	N/A	120/1/60	LIVING ROOM



HEAT PUMP SCHEDULE

	MAKE	MODEL	BTU/ COOLING	POWER	EFFICIENCY
HP-1	BRYANT	<u>38MARBJ12AA3</u>	12,000	208/230-1-60	22.5 SEER/12 HSPF
HP-2	BRYANT	<u>38MGRBQ18BA3</u>	18,000	208/230-1-60	22.5 SEER/ 1 HSPF
HP-3	<u>BRYANT</u>	<u>38MGHBQ24CA3</u>	24,000	208/230-1-60	24.1 SEER/ 1 HSPF
HP-4	<u>BRYANT</u>	<u>38MARBJ12AA3</u>	12,000	208/230-1-60	22.5 SEER/ 1 HSPF
HP-5	<u>BRYANT</u>	<u>38MARBJ18AA3</u>	18,000	208/230-1-60	21.5 SEER/ 1 HSPF
HP-6	<u>BRYANT</u>	<u>38MGRBQ18BA3</u>	18,000	208/230-1-60	22.5 SEER/ 1 HSPF



GROUND FLOOR PLAN

SCALE 1/8" = 1'-0"

- 4 OCT 23 PERMIT SUBMITTAL
- 1 7 MAR 24 PERMIT RESUBMITTAL
- 2 30 MAY 24 REVISION CITY COMMENTS
- 3 26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
THE TALMON

LOCATION
CENTER STREET, LA CONNER, WA

DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES LLC

7301 BEVERLY LA
EVERETT, WA 982

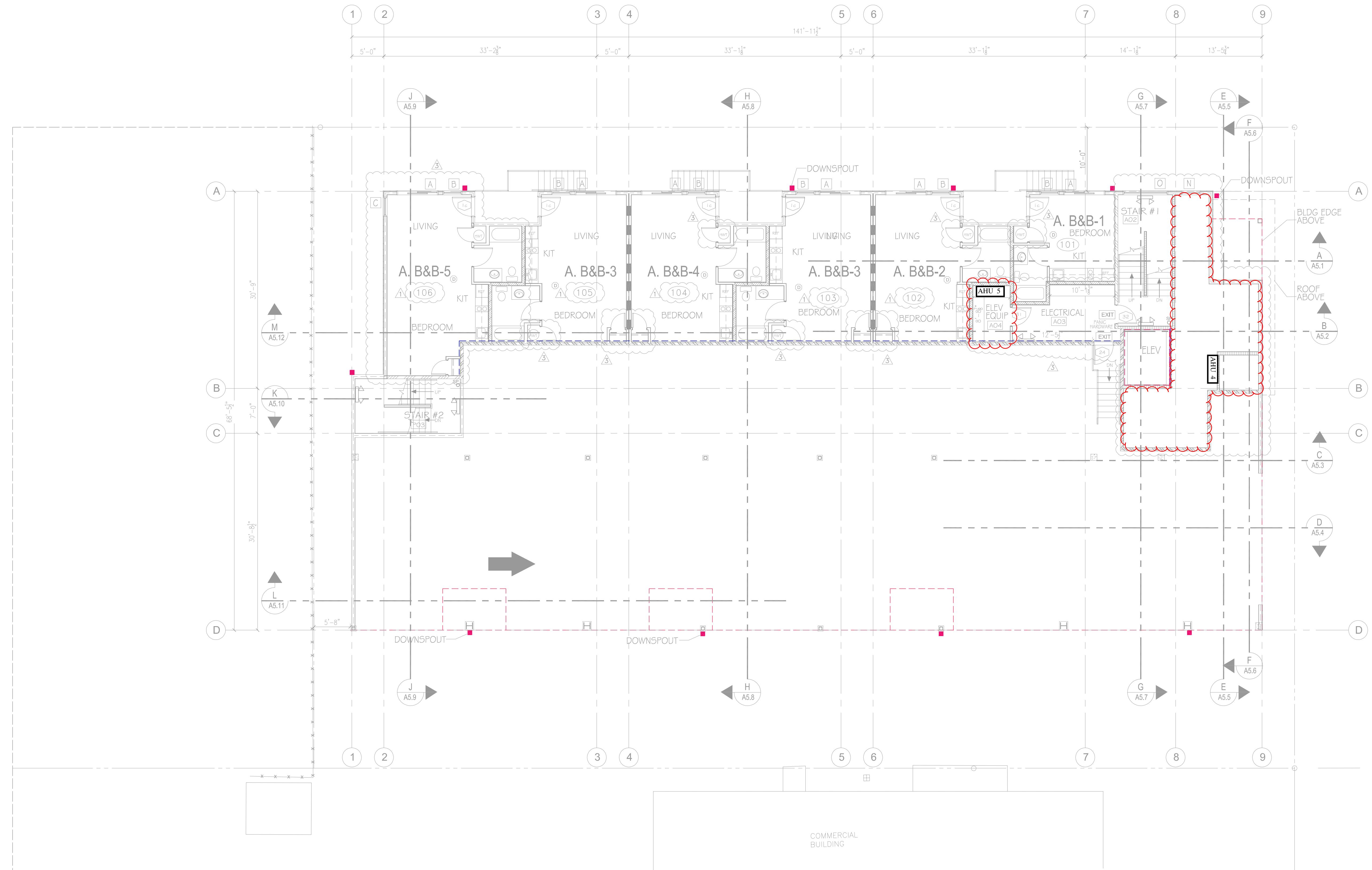
EMAIL info@cmaarch.com
PHONE 425-353-2888

Design by:
Right Way
Plumbing & Heating

DATE	4 OCT 23
REVISION	1 7 MAR 24
REVISION	2 30 MAY 24
REVISION	3 26 NOV 24

SHEET

M 1.0



LEGEND

- DETAIL INDICATOR (SEE D. SHTS)
- ROOM NUMBER INDICATOR
- SECTION INDICATOR (SEE A5. SHTS)
- UNIT NUMBER INDICATOR
- WINDOW INDICATOR
- DOOR INDICATOR
- FIRE EXTINGUISHER

WALL LEGEND
VERIFY WALL TYPES AS PER SHEET RA1.1

EXTERIOR WALL - FIRE 1 SIDE
EXTERIOR WALL - FIRE BOTH SIDES
CORRIDOR WALL - STC 50 MIN
DEMISING WALL (1 HR) - STC 50 MIN
STANDARD WALL (1 HR)
PARTY WALL (1 HR) - STC 50 MIN

1ST FLOOR PLAN
SCALE 1/8" = 1'-0"
M 2.0

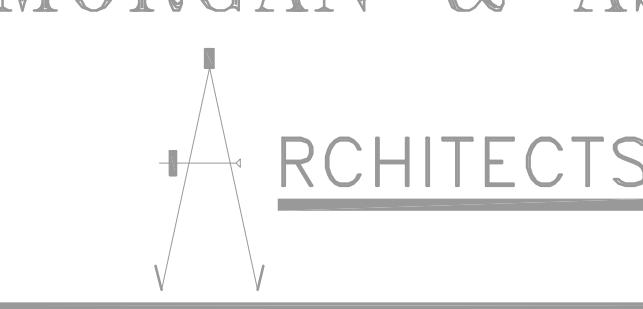
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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203



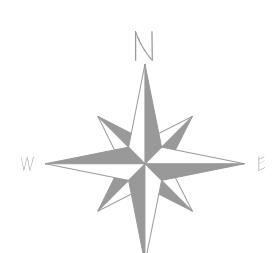
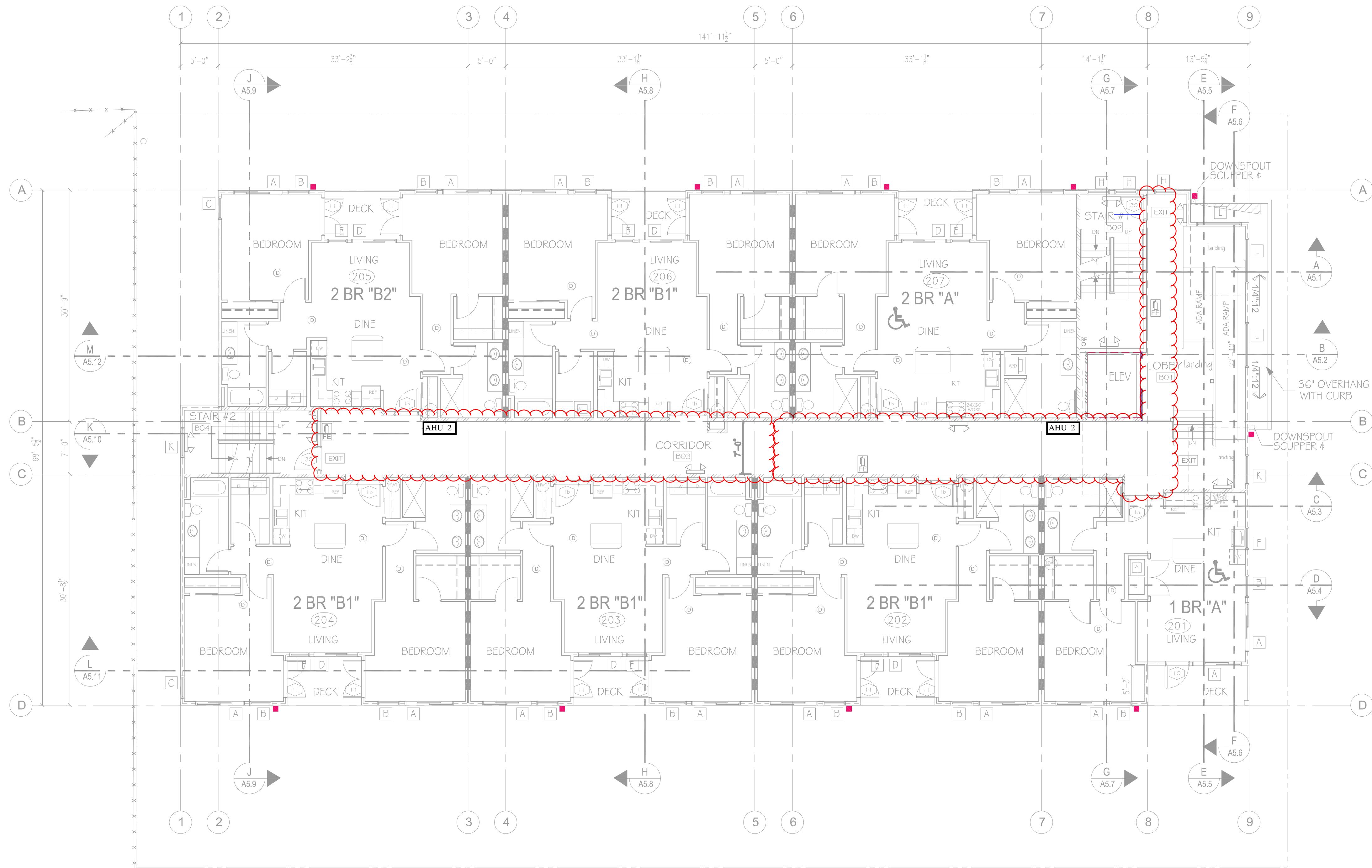
EMAIL: info@cmaarch.com
PHONE: 425-353-2865

Design by:
Right Way
Plumbing & Heating
Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

SCALE

M 2.0



2ND FLOOR PLAN
SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL
30 MAY 24 REVISION CITY COMMENTS
26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

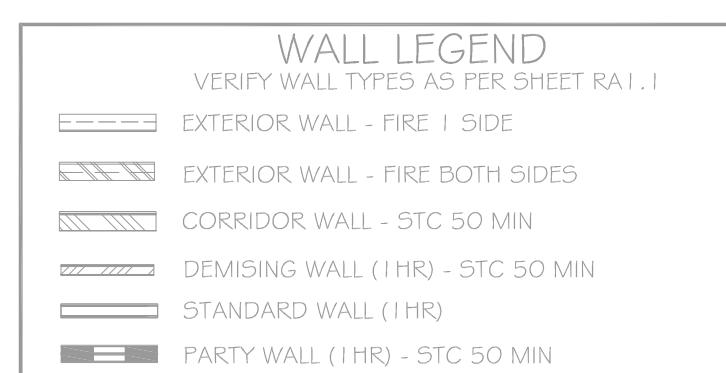
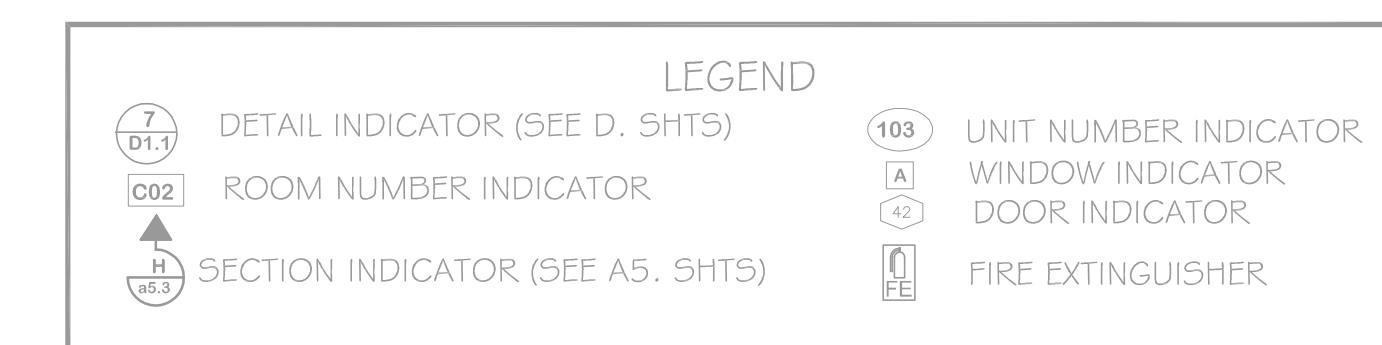
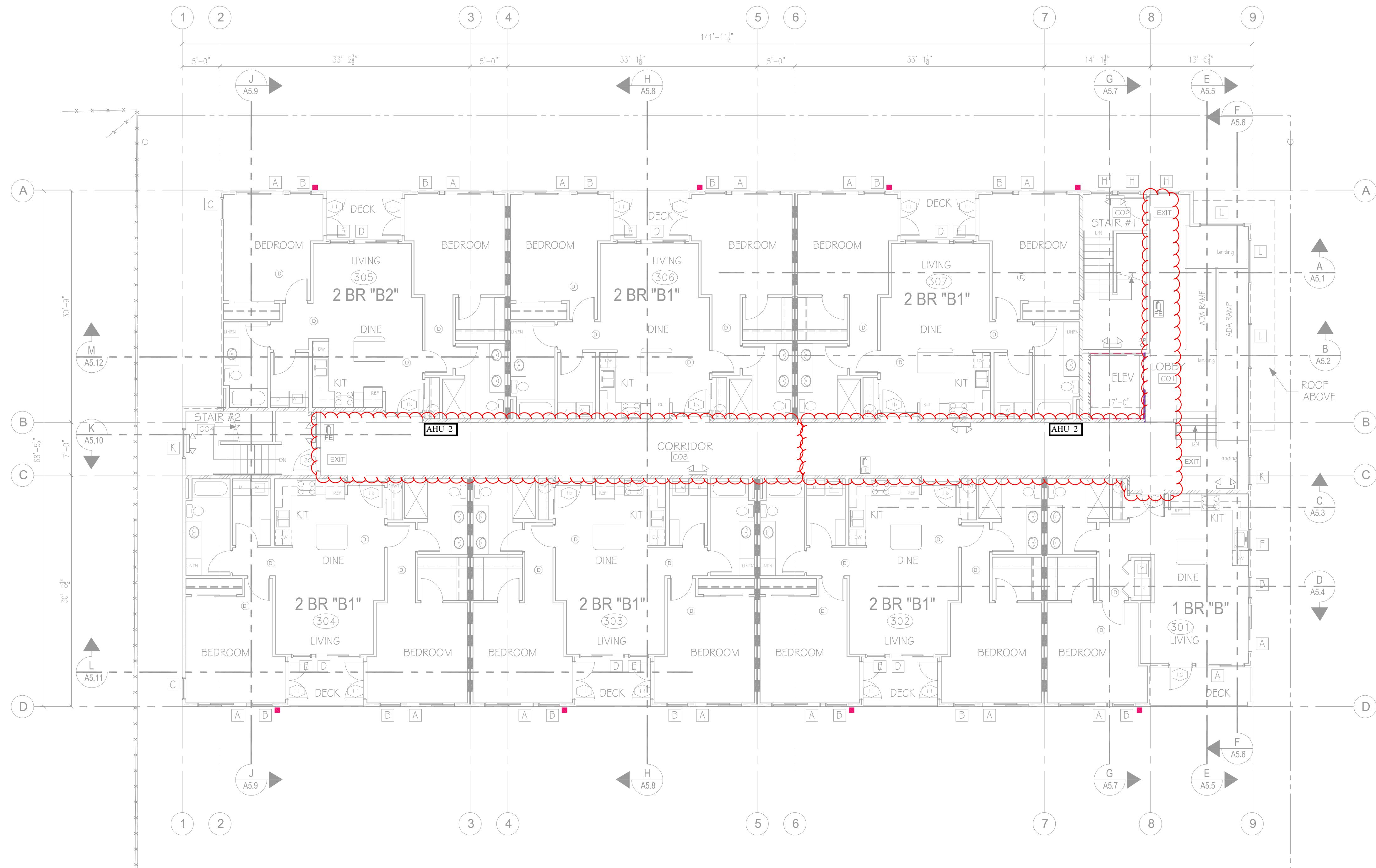


EMAIL: info@cmaarch.com
PHONE: 425-353-2888

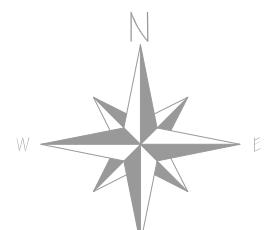
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Plumbing & Heating
Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

M 3.0



3RD FLOOR PLAN
SCALE 1/8" = 1'-0"



4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITAL
30 MAY 24 REVISION CITY COMMENTS
26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

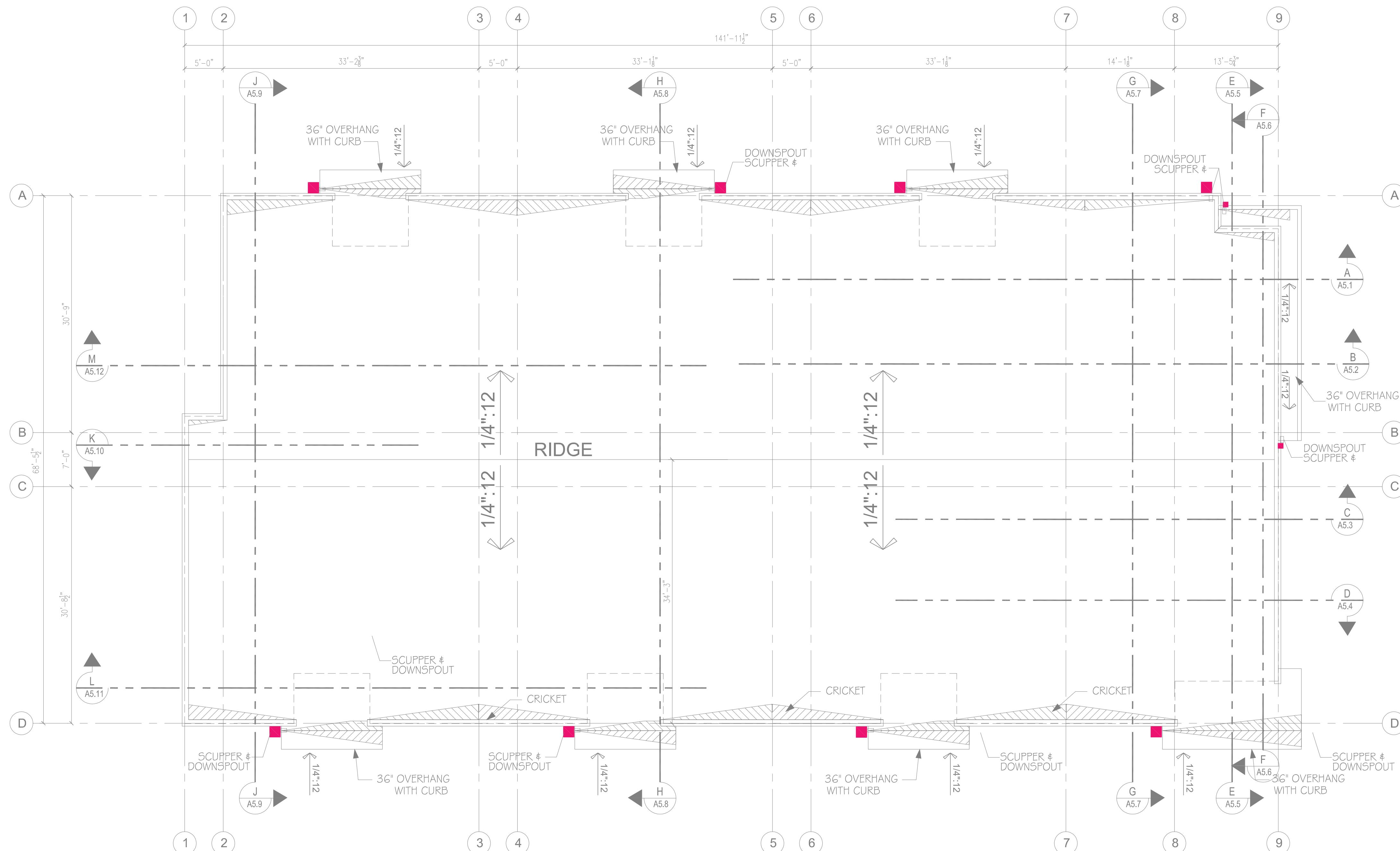


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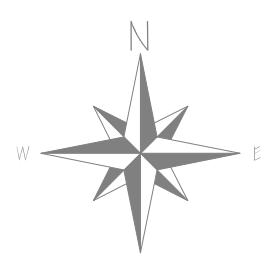
DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

SHEET
M 4.0



LEGEND

- SCUPPER & DOWNSPOUT
- GUTTER
- CURB
- PARAPET WALL
- CAN VENTS (AF92) OPENING SIZE 92 SQ/IN
- PV PANELS
- ROOF ACCESS FOR



ROOF PLAN
SCALE 1/8" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITAL
30 MAY 24 REVISION CITY COMMENTS
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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE
EVERETT, WA 98203

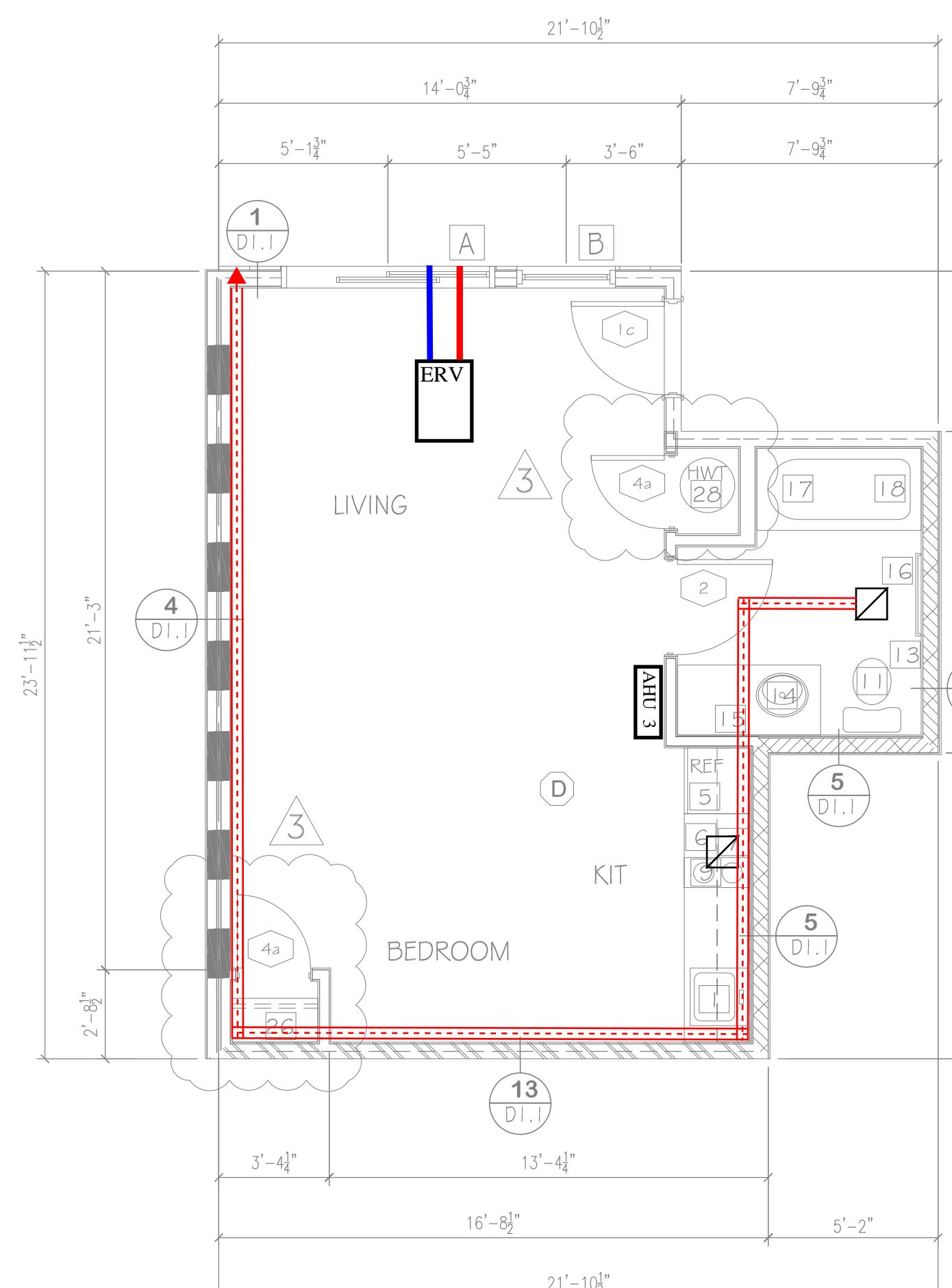


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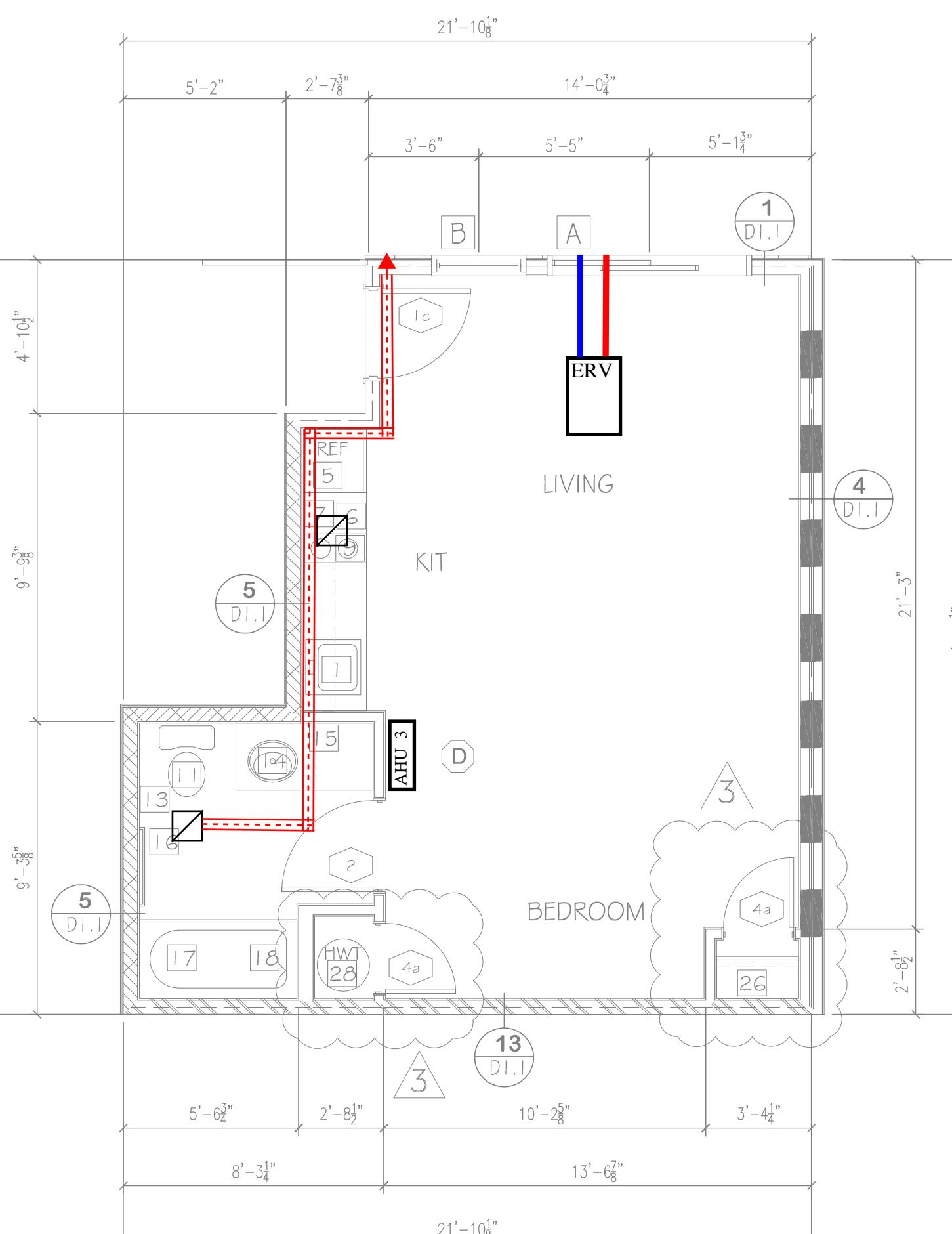
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Right Way
Plumbing & Heating
Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

ROOF PLAN
SCALE 1/8" = 1'-0"
M 5.0



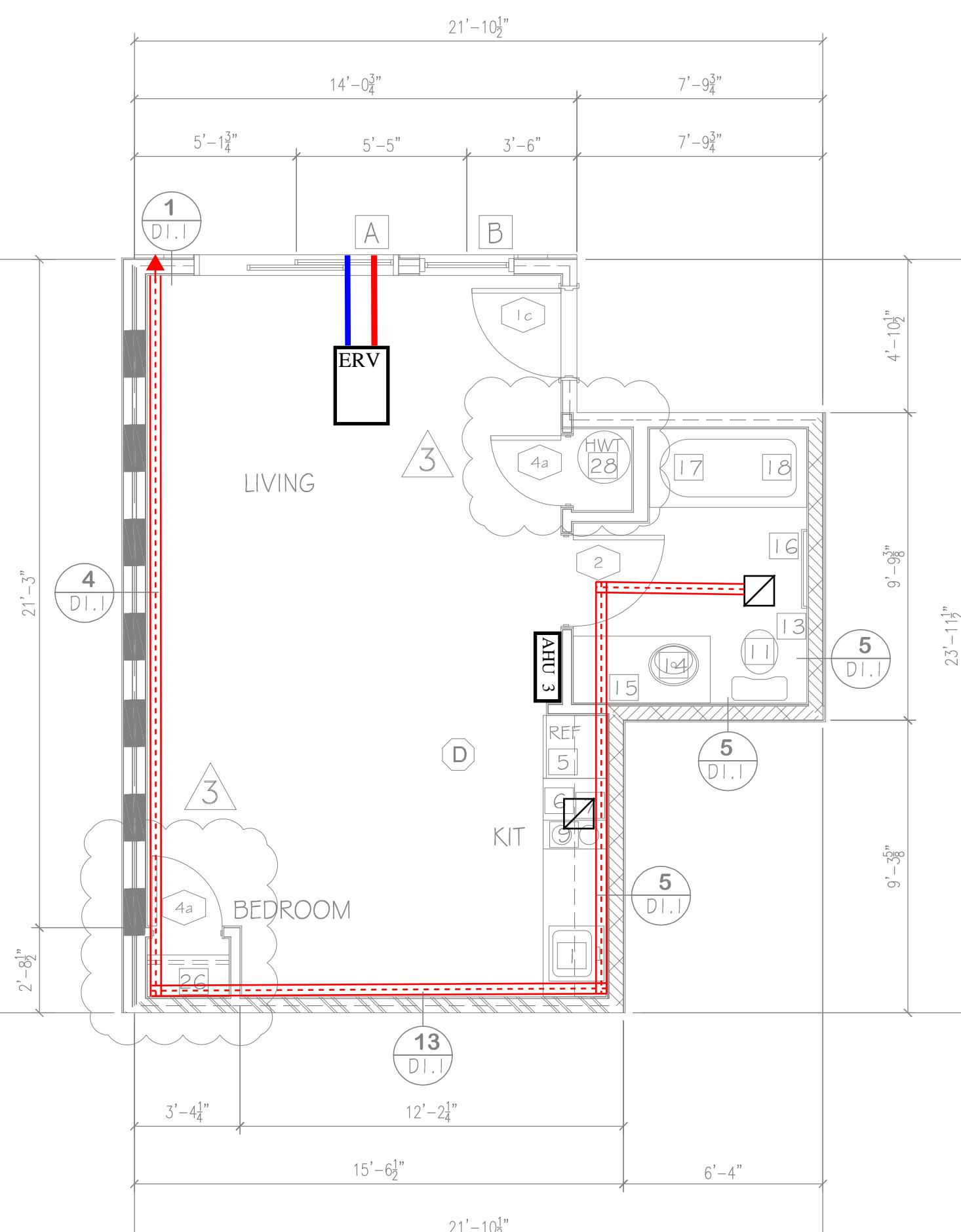
UNIT "B&B-4"
(SLEEPING UNIT)
433 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 104



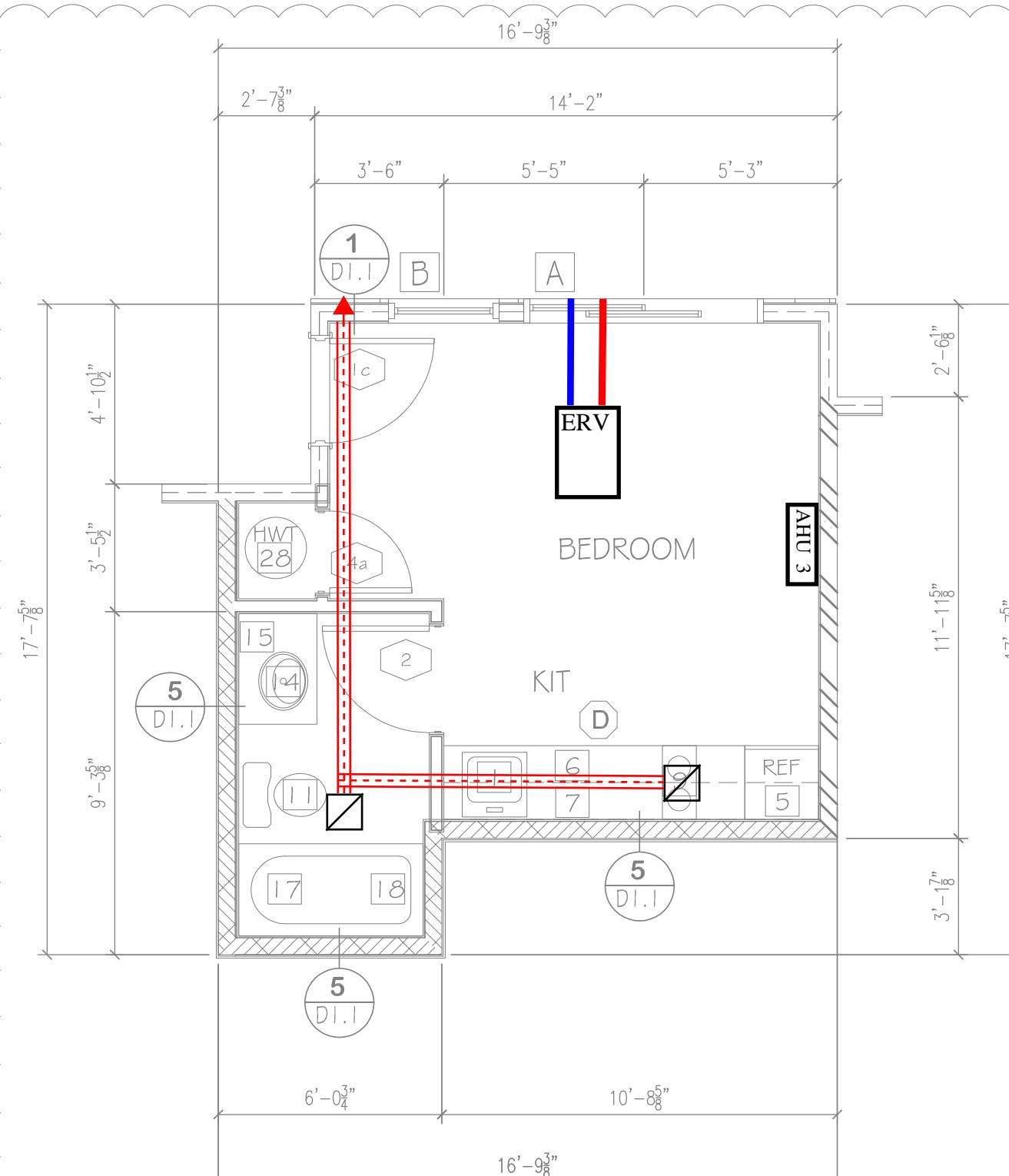
UNIT "B&B-3"
(SLEEPING UNIT)

432 SQ/FT
2 UNIT
DECK - 56 SQ/FT

UNITS # 103 \$ 105



UNIT "B&B-2"
(SLEEPING UNIT)
421 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 102



UNIT "B&B-1"
(SLEEPING UNIT)
242 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 101

SLEEPING UNITS EXEMPT FROM COMPLYING IBC CHAPTER 11 AND WITH A117.1-2009 ACCESSIBILITY.
ALL DOORS WITHIN THE SLEEPING UNIT ARE REQUIRED TO HAVE A CLEAR WIDTH OF 32"

SHEET NOTES

SHEET NOTES

- 1 SELF-RIMING STAINLESS STEEL SINK; SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS
- 2 BUILT-IN DISHWASHER, ENERGY STAR
- 3 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE
- 4 30" ELECTRIC RANGE WITH HOOD FAN ABOVE
- 5 REFRIGERATOR SPACE
- 6 PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW
- 7 LINE OF CABINETS ABOVE
- 8 PONY WALL
- 9 COOKTOP
- 10 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW
- 11 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS
- 12 GRAB BARS FOR WATER CLOSET
- 13 SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF
- 14 LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET
- 15 SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY
- 16 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR MAX. 4'-6" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF
- 17 FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND: TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD
- 18 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND
- 19 FURR WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS
- 20 5' SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD
- 21 ADA 5' ROLL-IN SHOWER WITH SEAT
- 22 SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXEDSHOWER HEAD OR AS A HAND HELD SHOWER
- 23 GRAB BARS FOR ROLL-IN SHOWER
- 24 WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR
- 25 COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR
- 26 1 - 12" WIRE SHELF & POLE
- 27 5 - 12" WIRE SHELVES
- 28 HOTWATER TANK
- 29 REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOE & KNEE CLEARANCE 22" MIN ABOVE THE FLOOR TO A MIN. DEPTH OF 8" WITH TOE CLEARANCE OF 9" HIGH

NOTE: ALL DOORS TO BE 3'-0" X 6'-8"
UNIT ENTRY DOORS TO BE 20 MIN RATED
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK
ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1
A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT
ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR

NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
OUTLET TO THE FINISH FLOOR.
COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO
HIGHEST OUTLET.
SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ACCESSIBLE CONTROLS
IN CASE OF EMERGENCY EXIT

LEGEND	
	STANDARD WALL (1 HR)(SEE SHT RA1.1 #3)
	CORRIDOR WALL (SEE SHT RA1.1 #4)
	UNIT PARTITION WALL (SEE SHT RA1.1 #5)
	EXTERIOR WALL (SEE SHT RA1.1 #1)
	2 HR WALL - GENERIC (SEE SHT RA1.1 #6)
	2 HR WALL - (STC 50) (SEE SHT RA1.2 #20)
	2 HR EXTERIOR WALL (SEE SHT RA1.2 #19)
	WINDOW INDICATOR
	DOOR INDICATOR
	SOFFITS FOR DUCTS
	DETAIL INDICATOR (SEE D1.1, SHTS)
	INTERIOR ELEVATIONS (SEE SHT AG.1)
	SMOKE/CARBON MONOXIDE DETECTOR

STUDIO "B&B-1", "B&B-2", "B&B-3" & "B&B-4" TYPICAL UNIT

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
① 7 MAR 24 PERMIT RESUBMITTAL
② 30 MAY 24 REVISION CITY COMMENTS
③ 26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS LLC

CHARLES MORGAN & ASSOCIATES, LLC

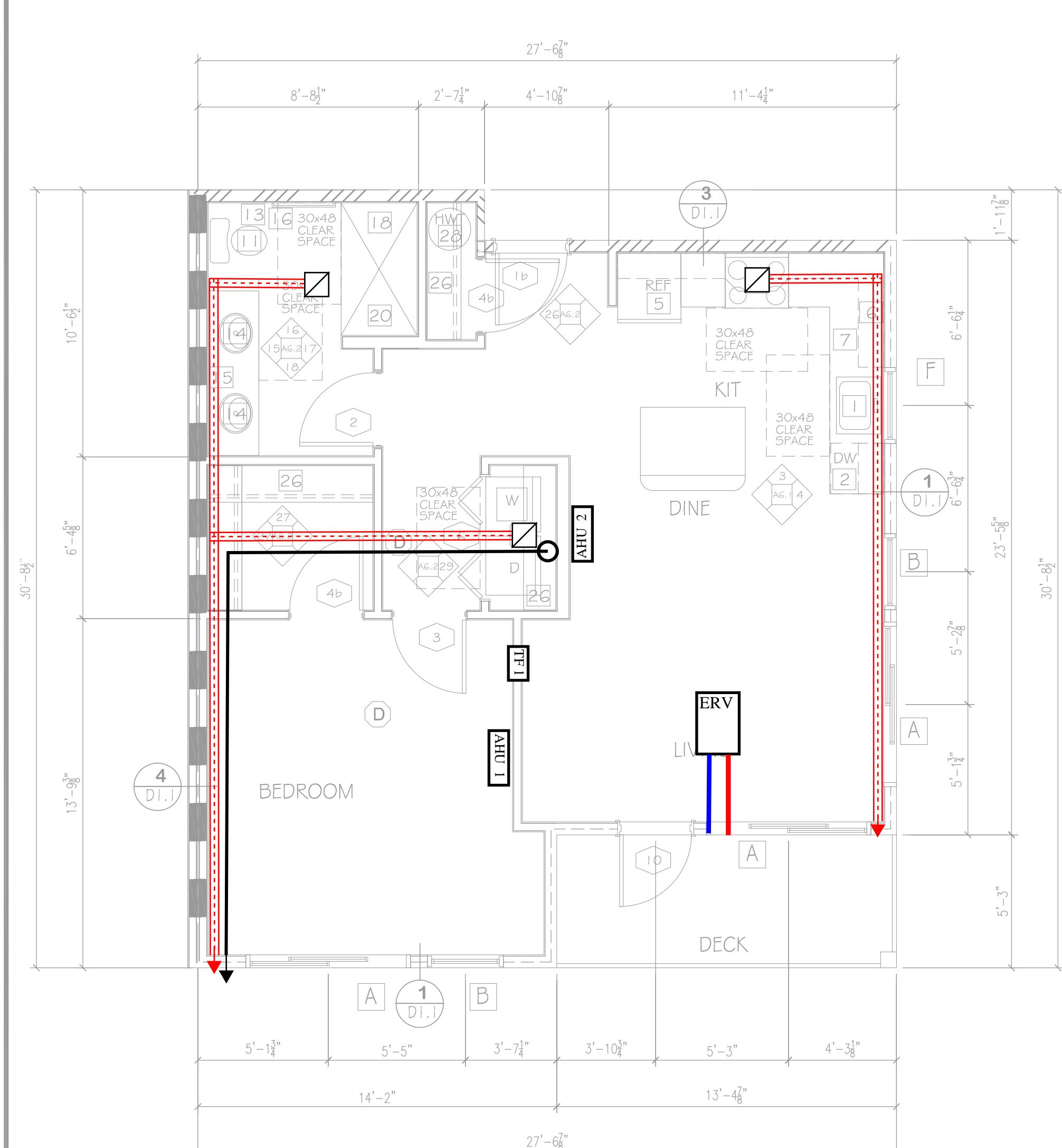
7301 BEVERLY LANE
EVERETT, WA 98203

EMAIL info@cmaarch.com
PHONE 425-353-2888

sign by:
ht Way
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ATE	4 OCT 23
EVISION	△ 7 MAR 2
EVISION	△ 30 MAY 2
EVISION	△ 26 NOV 2

SHEET



I BEDROOM "B"
(TYPE "B" UNIT)
744 SQ/FT
1 UNIT
DECK - 70 SQ/FT
UNIT # 301

(TYPE "B" UNIT OPTION B BATHROOM PER ICC A117.1 - 2009)

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG.1 INTERIOR ELEVATIONS FOR LOCATION
OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
OF WATER CLOSETS AND TUB CONTROLS

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG.1.
ALL TOILETS SHALL BE CENTERED EXACTLY 18 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT MOUNTED CONTROLS.
ENSURE THAT CONTROLS ARE NOT LOWER THAN 36" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE.

AIR INLETS, WINDOW TRickle VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR, MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC 403.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS.

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 1/2" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

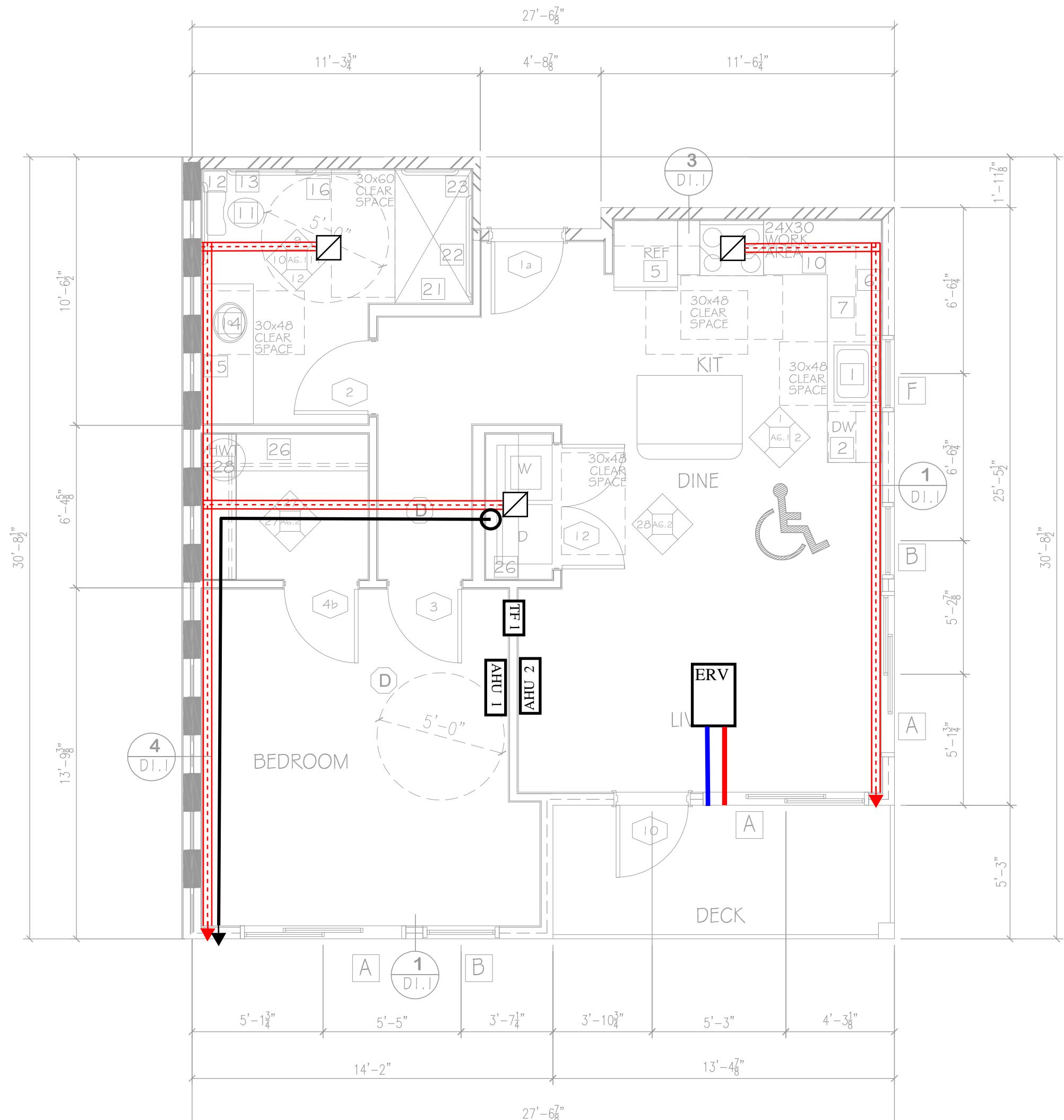
OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 36" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.



I BEDROOM "A"
(TYPE "A" UNIT)
740 SQ/FT
1 UNIT
DECK - 70 SQ/FT
UNIT # 201

SHEET NOTES

SELF-RUNNING STAINLESS STEEL SINK, SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS

BUILT-IN DISHWASHER, ENERGY STAR

30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE

30" ELECTRIC RANGE WITH HOOD FAN ABOVE

REFRIGERATOR SPACE

PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW

LIN OF CABINETS ABOVE

PONY WALL

COOKTOP

30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW

11 3/8" GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE MAX 36" WIDE IN ACCESSIBLE UNITS; MINIMUM 33" WIDE IN TYPE "B" UNITS

GRAB BARS FOR WATER CLOSET

12 SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF

13 LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET

14 SURFACE MOUNTED MIRROR WITH J-CUPS TO MATCH VANITY

15 3/8" TOWEL BAR; PROVIDE SOLID BACKING IN WALL, MOUNT CENTER OF BAR MAX 4'-6" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF

16 FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND; TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD

17 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND

18 FURK WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS

19 5' SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD

20 21 22 23 24 25 26 27 28 29

SHOWER SPRAY UNIT 1.75 GPM WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FLOORSHOWER HEAD OR AS A HAND HELD SHOWER

GRAB BARS FOR ROLLIN SHOWER

WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR

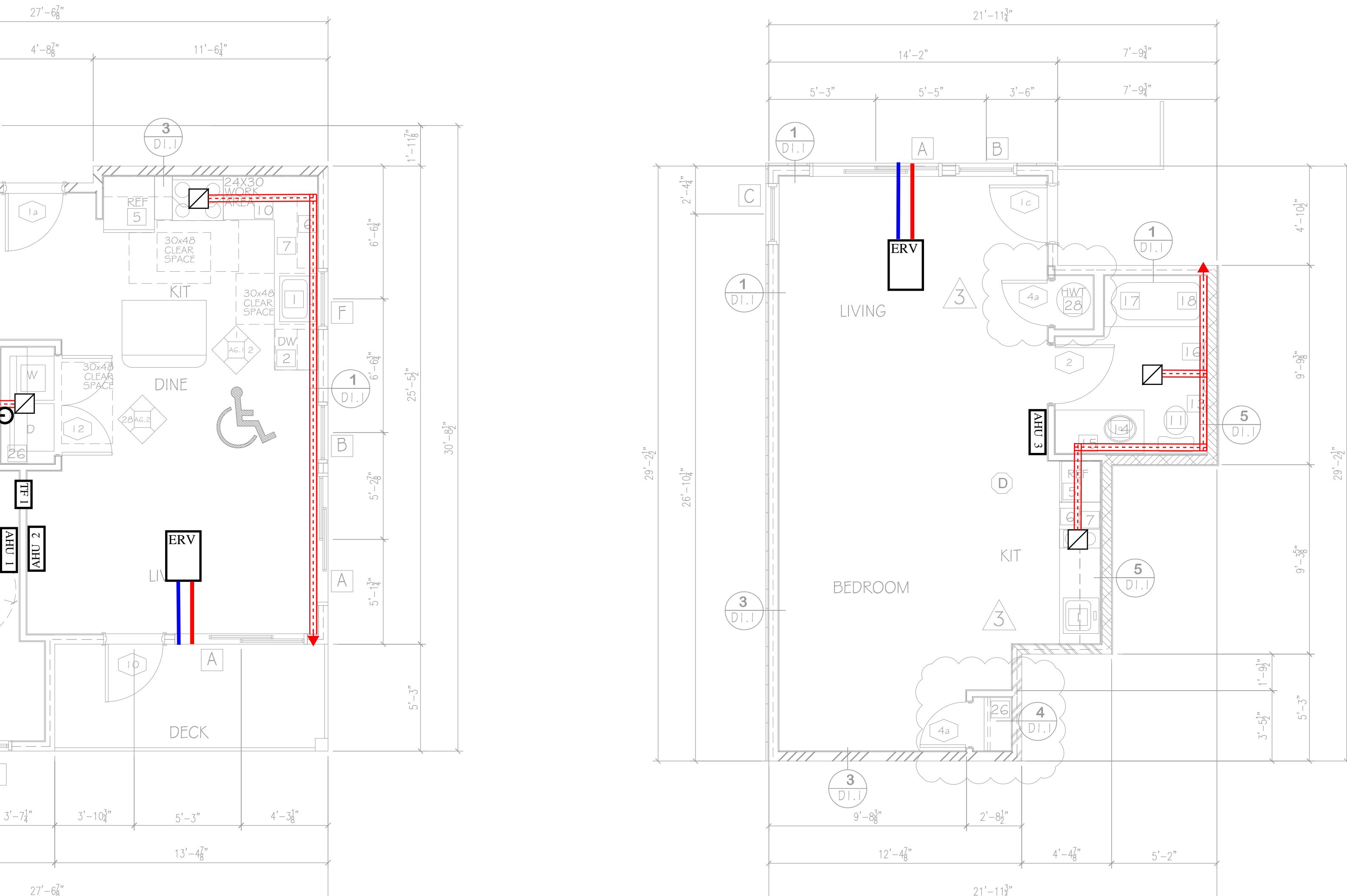
COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR

1 - 12" WIRE SHELF & POLE

5 - 12" WIRE SHELVES

HOTWATER TANK

REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOP 4" KNEE CLEARANCE 27" ABOVE THE FLOOR TO A MIN. DEPTH OF 8" WITH TOP CLEARANCE OF 9" HIGH



UNIT "B&B-5"
(SLEEPING UNIT)

498 SQ/FT
1 UNIT
DECK - 56 SQ/FT
UNIT # 106

SLEEPING UNITS EXEMPT FROM COMPLYING IBC CHAPTER 11 AND WITH A117.1-2009 ACCESSIBILITY.
ALL DOORS WITHIN THE SLEEPING UNIT ARE REQUIRED TO HAVE A CLEAR WIDTH OF 32".
PROVIDE COUNTER TOP MICROWAVE FOR SLEEPING UNITS

LEGEND	
VERIFY WALL TYPES AS PER RA1.1 SHEET	WINDOW INDICATOR
STANDARD WALL (SEE SHT RA1.1 #3)	DOOR INDICATOR
CORRIDOR WALL (SEE SHT RA1.1 #4)	SOFFITS FOR DUCTS
UNIT PARTITION WALL (SEE SHT RA1.1 #5)	DETAIL INDICATOR (SEE D1.1 SHTS)
EXTERIOR WALL (SEE SHT RA1.1 #1)	INTERIOR ELEVATIONS (SEE SHT AG.1)
2 HR WALL - GENERIC (SEE SHT RA1.1 #6)	SMOK2/CARBON MONOXIDE DETECTOR
2 HR WALL - 10'6" SO (SEE SHT RA1.2 #2)	
2 HR EXTERIOR WALL (SEE SHT RA1.2 #3)	

STUDIO "B&B-5" AND 1 BR "A" & "B"
TYPICAL UNIT

SCALE 1/4" = 1'-0"

M 6.0

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL
30 MAY 24 REVISION CITY COMMENTS
26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC
RCHITECTS

EMAIL: info@cmaarch.com
PHONE: 425-353-2888

Design by:
Right Way
Plumbing & Heating
Contact:
Logan Clark
(360) 855-2665

DATE 4 OCT 23
REVISION 7 MAR 24
REVISION 30 MAY 24
REVISION 26 NOV 24

SHEET

