



## ***TOWN OF LA CONNER PLANNING COMMISSION***

### **Meeting Notice**

November 4, 6PM

Upper Maple Center, La Conner WA, and Livestreamed  
Information is below and on the Town Website

Skagit County Washington  
Incorporated 1890  
[www.townoflaconner.org](http://www.townoflaconner.org)

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### **Agenda**

#### **I. Convene**

#### **II. Public Comments** (Topics not otherwise on the Agenda) – Time Limit 3 Minutes

#### **III. Minutes:** Approve Minutes from the October 21, 2025 meeting.

#### **IV. Old Business**

1. Status Report – Public Participation Program.
2. Discussion of Historic Preservation District code: Colors, and time period
3. LCMC Code Updates: Unit Lot Subdivision Code

#### **V. New Business**

#### **VI. Closing Comments:**

Live Streaming Info: <https://laconnerwa.portal.civicclerk.com/>

## TOWN OF LA CONNER PLANNING COMMISSION MEETING MINUTES October 21, 2025

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The Planning Commission meeting was called to order at 6:00 p.m.

Commissioners present: Tracy McCain, Maya Ojalehto, Timothy Corey, Bruce Bradburn, and Sommer Holt

Staff: Ajah Eills

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### **PUBLIC COMMENT**

No public comments.

### **MINUTES:**

Commissioner Bradburn moved to approve the minutes and seconded by Commissioner Ojalehto. **Motion to approve the minutes with correction carried unanimously.**

### **OLD BUSINESS:**

There were no updates on the Public Participation Program.

Commissioners discussed the code in the Historic Preservation District (HPD) Commissioner Holt spoke regarding updating the HPD code to include a specific time period, and supplied additional materials that outlined when buildings along Morris Street were constructed. Discussion ensued. Commissioners requested that staff present code edits that incorporate the time period 1875-1915 into the HPD code. Discussion on the HPD continued, with a focus on colors within the HPD. Commissioner Holt presented examples of how other jurisdiction handle colors in historical districts. Discussion ensued. The practicality of HEX codes and artistic expression were discussed. Commissioners requested more information about the color pallets presented by staff, and spoke to codified colors being an administrative approval, with full design review for applicants who would like to paint with colors not listed in the code.

### **NEW BUSINESS:**

Staff presented updates to the subdivision code for unit lot subdivisions as required by State. Discussion ensued. Clarifying language was requested. Staff will draft edits as requested and present them to the Commission.

### **COMMISSIONER COMMENTS/STAFF COMMENTS:**

None.

With no further business Commissioner McCain moved to adjourn the meeting at 6:57 p.m. Seconded by Commissioner Bradburn. **Motion carried unanimously.**

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Chair

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Date

## M E M O R A N D U M

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TO: Planning Commission  
 FROM: Planning Staff  
 SUBJECT: HPD Code Follow-Up  
 DATE: November 4, 2025

### HPD Code Updates for Time-period:

Looking to update the HPD code as requested on 10/21, I added a definition of “historic time period” and made adjustments so the code would be internally consistent. I also added clarifying language regarding the siding.

### HPD Code Update for Color:

Sherman Williams has several different categories of historical time periods. Of those periods, three include 1875-1915

Victorian (1830s-1910s) – Appendix A

Colonial Revival (1870s-1900s) – Appendix B


Arts & Crafts (1880s-1910s) – Appendix C


Below are the color palettes that I have presented previously, with tags of V, CR, or AC to indicate if the color is included in one of those palettes. If a color is not included in one of these palettes, it will have a X next to it, indicating that while it is a historic color or appears in Sherwin Williams Historic Palettes, it has not been identified by Sherman Williams as being part of the 1875-1915 era.


Historic Color SW Palettes from Sherman Williams American Heritage Historic Color Combos are listed below. SW Palettes include Body, Trim, and two Accent colors. Sherman Williams provided these palettes, I did not pick the colors myself.

#### SW Palette 1:

Body: Renwick Rose Beige (#B18A73)  V


Trim: Renwick Beige (#C4B19E)  V

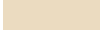
Accent 1: Pewter Tankard (#A39C90)  V

Accent 2: Polished Mahogany (#432925)  AC

#### SW Palette 2:


Body: Renwick Golden Oak (#96724D)  V


Trim: Downing Straw (#CAA97B)  V

Accent 1: Roycroft Vellum (#EBDBC0)  AC

Accent 2: Deepest Mauve (#705D5C)  V

#### SW Pallet 3:


Body: Downing Sand (#CCBDA6)  V


Trim: Rookwood Clay (#9B7F64)  V

Accent 1: Rookwood Sash Green (#456560)  V


Accent 2: Rookwood Blue Green (#748579)  V

#### SW Pallet 4:


Body: Sheraton Sage (#958C6D)  V


Trim: Downing Sand (#CCBDA6)  V


Accent: Rookwood Antique Gold (#A17E50)  V

Accent 2: Fairfax Brown (#64483D)  X

#### SW Pallet 5:


Body: Eastlake Gold (#C79467)  V


Trim: Classical White (#EDE2CB)  CR

Accent 1: Curio Gray (#9B8C7A)  V


Accent 2: Downing Slate (#737A80)  V

#### SW Pallet 6:


Body: Pearl Gray (#CDD0C5)  X


Trim: Classic Light Buff (#F0EADB)  X


Accent 1: Colonial Revival Stone (#A8947C)  CR


Accent 2: Mulberry Silk (#967A70)  V

#### SW Pallet 7:


Body: Downing Slate (#737A80)  V


Trim: Downing Straw (#CAA97B)  V


Accent1: Rookwood Antique Gold (#A17E50)  V


Accent 2: Rookwood Medium Brown (#715544)  V

#### SW Pallet 8:


Body: Downing Earth (#897C67)  V


Trim: Renwick Beige (#C4B19E)  V

Accent 1: Rookwood Terra Cotta (#995A42)  V


Accent 2: Rookwood Dark Brown (#5F4B41)  V

#### SW Pallet 9:


Body: Renwick Olive (#948565)  V


Trim: Downing Sand (#CCBDA6)  V

Accent 1: Rookwood Dark Green (#575D4B)  V


Accent 2: Rookwood Amber (#BD8145)  V

#### SW Pallet 10:


Body: Craftsman Brown (#AF9278)  AC


Trim: Roycroft Vellum (#EBDBC0)  AC

Accent 1: Rookwood Brown (#81634C)  V

Accent 2: Naval (#2D3B49)  X

#### SW Pallet 11:


Body: Birdseye Maple (#E4C291)  AC


Trim: Roycroft Brass (#7B6A50)  AC


Accent 1: Roycroft Bronze Green (#565448)  AC


Accent 2: Aurora Brown (#6C4339)  AC

#### SW Pallet 12:


Body: Roycroft Pewter (#5C605F)  AC


Trim: Weathered Shingle (#938068)  AC


Accent 1: Roycroft Vellum (#EBDBC0)  AC

Accent 2: Roycroft Copper Red (#793324)  AC

#### SW Pallet 13:


Body: Antique White (#E9DCC6)  X

Trim: Roycroft Suede (#A79472)  AC


Accent 1: Creamy (#EEE7D9)  X


Accent 2: Bunglehouse Blue (#47626F)  AC

#### SW Pallet 14:

Body: Peace Yellow (#EFCF9D)  X


Trim: Rookwood Antique Gold (#A17E50)  V


Accent 1: Classical White (#EDE2CB)  CR

Accent 2: Roycroft Bottle Green (#303E36)  AC

#### SW Pallet 15:


Body: Roycroft Mist Gray (#C1BCB0)  AC


Trim: Downing Stone (#A4A093)  V

Accent 1: Extra White (#EDEEE9) 

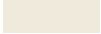
Accent 2: Rookwood Dark Red (#492728)  V

#### SW Pallet 16:


Body: Downing Stone (#A4A093)  V

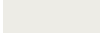
Trim: Sage Green Light (#74715E)  X


Accent 1: Roycroft Bronze Green (#565448)  AC


Accent 2: Classic Light Buff (#F0EADB)  X

#### SW Pallet 17:


Body: Rookwood Clay (#9B7F64)  V


Trim: Pure White (#EEEECE5)  X


Accent 1: Downing Sand (#CCBDA6)  V

Accent 2: Teal Stencil (#688482)  V

#### SW Pallet 18:

Body: Downing Straw (#CAA97B)  V


Trim: Roycroft Vellum (#EBDBC0)  AC

Accent 1: Roycroft Pewter (#5C605F)  AC

Accent 2: Classic French Gray (#888782)  X

#### SW Pallet 19:


Body: Needlepoint Navy (#5A6A73)  CR

Trim: Classic Light Buff (#F0EADB)  X


Accent 1: New Colonial Yellow (#D9AD7F)  X

Accent 2: Antiquarian Brown (#946644)  AC

#### SW Pallet 20:


Body: Chelsea Gray (#B6B7B0)  X


Trim: Westchester Gray (#797978)  X


Accent 1: Decorous Amber (#AC7559)  V

Accent 2: Roycroft Pewter (#5C605F)  AC

#### SW Pallet 21:


Body: Downing Sand (#CCBDA6)  V

Trim: Classical White (#EDE2CB)  CR


Accent 1: Toile Red (#8B534E)  V

Accent 2: Rookwood Dark Brown (#5F4B41)  V

#### SW Pallet 22:

Body: Colonial Revival Stone (#A8947C)  CR




Trim: Classical White (#EDE2CB)  CR


Accent 1: Tricorn Black (#2F2F30)  X


Accent 2: Rookwood Red (#622f2d)  V

#### SW Pallet 23:

Body: Colonial Revival Gray (#B4B9B9)  CR


Trim: Pure White (#EEEECE5)  X


Accent 1: Downing Slate (#737A80)  V

Accent 2: Harvester (#EDC38E)  X

#### SW Pallet 24:

Body: Colonial Revival Green Stone (#A39B7E)  CR

Trim: Classic Light Buff (#F0EADB)  X

Accent 1: Polished Mahogany (#432925)  AC

Accent 2: Roycroft Bronze Green (#565448)  AC

## Article I. General Provisions

### 15.50.010 Purpose.

- (1) Provide for the identification and protection of structures and sites within the town that reflect special elements of the town's architectural, artistic, aesthetic, historical, economic, and social heritage;
- (2) Facilitate restoration and upkeep of historic structures;
- (3) Encourage public knowledge and appreciation of the town's history and culture;
- (4) Foster community pride and sense of identity based on recognition and use of historic resources;
- (5) Preserve ~~diverse~~ architectural styles reflecting ~~development phases~~ of the town's ~~between 1875-1915 history~~ and encourage complimentary design and construction impacting historic resources;
- (6) Enhance property values and increase economic benefits to the town and its residents;
- (7) Identify and resolve conflicts between the preservation of historic structures and alternative land uses;
- (8) Integrate the requirements for historic preservation into the development review process.
- (9) Ensure that new construction and additions respect the scale, forms and proportions of the Historic Preservation District. [Ord. 755 § 3, 1999; Ord. 671 § 3.8.A, 1995.]

### 15.50.020 Applicability.

- (1) The provisions of this chapter shall apply to the designation, preservation, rehabilitation, restoration, reconstruction, relocation, remodel, demolition, or material change to the exterior appearance of all Historic Landmarks, all structures, and any new development within the Historic Preservation District in the town of La Conner.
- (2) The provisions of this chapter shall apply in addition to those requirements of the underlying zoning district. In the event of a conflict between the underlying district and this chapter, the provisions of this chapter shall prevail. [Ord. 755 § 4, 1999; Ord. 671 § 3.8.B, 1995.]

### 15.50.025 Definitions.

The following words and terms when used in this chapter shall mean as follows, unless a different meaning clearly appears from the context:

- (1) "Conflict" is when two code provisions provide for different or inconsistent standards.

(2) “District, Morris Street Commercial” means all commercial lots which abut Morris Street, excluding those which also abut First Street or which abut 2nd Street on the west and Morris Street on the south.

(3) “District, First Street Commercial” means all commercial lots, within the HPD, not included in the Morris Street Commercial, which abut First Street.

(4) “Floor area ratio” means the gross floor area of a building(s) on a lot, divided by the total lot area, expressed as a percent.

(5) “Historic period” means the time period between 1875-1915.

~~(65)~~ “Landscape feature” means a natural or manmade outdoor feature on the land such as, but not limited to, trees, steep slopes, bluffs, outcroppings, roads, driveways, parking lots, lamp posts, retaining walls and walkways.

~~(76)~~ “Scale” means the relationship of the size and proportions of individual parts of a structure to the whole structure; and the relative size and proportions of a structure in relation to pedestrians and to other structures within the Historic Preservation District.

~~(87)~~ “Shall” means a mandatory, directory and nonwaivable required act or omission.

~~(98)~~ “Should,” in the context of this chapter, denotes a requirement that may be modified if the applicant demonstrates that the proposal or project as designed furthers the goals and objectives of the chapter equal to or better than the requirement would.

~~(109)~~ “Streetscape” means the general arrangement, height, and style of buildings, entrances, open spaces, views, and landmark features along a street which help define the unique character of the street.

~~(110)~~ “Type II historic review” means planning director review of any proposed restoration, remodel, or sign permit.

~~(124)~~ “Type III historic review” means planning commission review of any alteration, demolition, reconstruction, relocation, or other material change. [Ord. 1211 § 2(A), 2022; Ord. 755 § 5, 1999.]

#### **15.50.030 District and landmark designation.**

The town of La Conner adopted a Historic Preservation District by order of the town council on September 5, 1972. The HPD includes portions of First and Second Streets and associated properties which are on the National Register of Historic Places. The boundaries of the district are illustrated on the La Conner Zoning Map, attached as Appendix A. The town council, on recommendation of the planning commission after public hearings, shall have the authority to

designate historic landmarks, or historic districts, or additions to historic districts when the criteria for designation under this chapter are satisfied. Any building or structure designated as historic on a national or state historic register and not located within the town's Historic Preservation District shall be required to meet the conditions set forth in this code. [Ord. 1211 § 2(A), 2022; Ord. 671 § 3.8.C, 1995.]

#### **15.50.040 Criteria for designation of historic landmarks.**

Any property owner within the town may apply for a Historic Landmark designation. A site or structure may be designated a Historic Landmark if it is listed on the National Register of Historic Places, or if it is rated "significant" under the town's procedure for evaluating historic resources under the specific architectural, environmental, and historic association criteria, as proposed by the National Trust for Historic Preservation, and itemized below. Points are awarded to a structure on the basis of how well it meets the criteria. A site or structure must receive a total of 40 or more points under the following criteria to qualify for Historic Landmark status:

- (1) It ~~was built between 1875-1915, is an early (50 years or older),~~ or is exceptional example of a particular architectural style, building type, or convention. (Up to 10 points).
- (2) It possesses a high quality of composition, detailing, and craftsmanship. (Up to 5 points).
- (3) It is a good, or early, example of a particular material or method of construction. (Up to 4 points).
- (4) It retains, with little or no change, its original design features, materials, and character. (Up to 8 points).
- (5) It is the only remaining, or one of the few remaining, properties of a particular style, building type, design, material, or method of construction. (Up to 10 points).
- (6) It is a conspicuous visual landmark in the community or neighborhood. (Up to 10 points).
- (7) It is well-located considering the current land use surrounding the property, which contributes to the integrity of the historic period. (Up to 4 points).
- (8) It is an important or critical element in establishing or contributing to the continuity or character of the street, neighborhood, or area. (Up to 7 points).
- (9) It is associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (Up to 10 points).
- (10) It is associated with an event that has made a significant contribution to the community, state, or nation. (Up to 10 points).

(11) It is associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, county, state, or nation. (Up to 10 points).

(12) It possesses the potential for providing historic information. (Up to 10 points). [Ord. 671 § 3.8.D, 1995.]

**15.50.050 Criteria for historic districts and additions thereto.**

Designation of a Historic Preservation District, or addition to a Historic Preservation District may be initiated by the planning commission, the town council, or by petition of at least 60 percent of the property owners within the geographically defined area. Criteria for designation are as follows:

(1) The area is listed on the National Register as a Historic District.

(2) The area includes a significant concentration of linkage of sites, buildings, structures, or objects which are unified visually by style, plan, or physical development distinguished by association with historic periods, events, people, or cultural trends, and

(a) A substantial number of the component parts within the area are exceptionally well preserved, or

(b) If some components lack individual distinction, but the area taken as a whole represents a significant and distinguishable entity.

(3) The area includes a significant concentration of Historic Landmarks as designated under the criteria set forth in LCMC [15.50.040](#).

(4) The area has yielded, or may be likely to yield, information important to prehistory or history. [Ord. 671 § 3.8.E, 1995.]

**15.50.060 Historic design review – Permit required.**

(1) A historic design review permit shall be obtained for any new development in the Historic Preservation District, prior to any alteration, demolition, reconstruction, restoration, relocation, remodel or other material change to the exterior appearance of any existing Historic Landmark or structure located in the Historic Preservation District, and for the interior of structures on the state or national register. Reference LCMC [15.130.010](#) and [15.130.030](#) for planning commission and planning director authority.

(2) Repair and maintenance (not shoreline related) may be undertaken without a historic design review permit but is subject to all applicable code requirements including related enforcement procedures.

(3) No historic design review permit shall be approved while any public hearing or appeal affecting the development, alteration, demolition or removal of any proposed Historic Landmark or any building within an area proposed for designation as a Historic District is pending.

(4) If any historic design review application is submitted in combination with another application (such as a conditional use permit), the applications shall be combined and heard concurrently by the higher permitting authority. [Ord. 1211 § 2(A), 2022; Ord. 743 § 3, 1999; Ord. 671 § 3.8.F, 1995.]

#### **15.50.070 Standards for treatment of historic properties.**

The Secretary of Interior's standards for four distinct, but inter-related approaches to the treatment of historic properties shall be followed for buildings in the Historic Preservation District as outlined below:

##### **(1) Preservation.**

(a) Work, including preliminary measures to protect and stabilize the property, that generally focuses upon the ongoing maintenance and repair of existing historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

(b) Applicability. When the property's distinctive materials, features, and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; when depiction at a particular period of time is not appropriate; and when a continuing or new use does not require additions or extensive alterations.

##### **(2) Rehabilitation.**

(a) The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.

(b) Applicability. When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate.

##### **(3) Restoration.**

(a) The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other title-required work to make properties functional is appropriate within a restoration project.

(b) Applicability. When the property's design, architectural, or historical significance during a particular period of time outweighs the potential loss of extant materials, features, spaces, and finishes that characterize other historical periods; when there is substantial physical and documentary evidence for the work; and when contemporary alterations and additions are not planned.

(4) Reconstruction.

(a) The act or process of depicting, by means of new construction, the form, features, and detailing of a nonsurviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

(b) Applicability. When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when sufficient historical documentation exists to ensure an accurate reproduction.

The standards outlined in Table I below shall be considered during the review process.

### Standards for the Treatment of Historic Properties

Table 1	
P = Preservation	
R = Rehabilitation	
RS = Restoration	
RC = Reconstruction	
<b>Standards</b>	<b>P R RS RS</b>

(1) A property shall be used as it P R  
was historically, or be given a

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**Standards****P R RS RS**

new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property shall be protected and, if necessary, stabilized until additional work may be undertaken.

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(2) The historic character of a property shall be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.

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(3) Each property shall be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features shall be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

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(4) Changes to a property that have acquired historic significance in their own right shall be retained and preserved.

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Standards	P	R	RS	RS
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(5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.	P	R		
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(6) The existing condition of historic features shall be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material shall match the old in composition, design, color, and texture.		p		
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(7) Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.	P	R	RS	
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(8) Archeological resources affected by a project shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.	P	R	RS	
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(9) Each property shall be recognized as a physical record		R		
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**Standards****P R RS RS**


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of its time, place, and use.

Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

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<p>(10) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement features shall be substantiated by documentary and physical evidence.</p>	<p>R</p>
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<p>(11) New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity</p>	<p>R</p>
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of the property and its environment.	
(12) New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	R
(13) A property shall be used as it was historically or be given a new use which reflects the property's restoration period.	RS
(14) Materials and features from the restoration period shall be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period shall not be undertaken.	RS
(15) Materials, features, spaces, and finishes that characterize other historical periods shall be documented prior to their alteration or removal.	RS
(16) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that	RS

characterize the restoration period shall be preserved.	
(17) Deteriorated features from the restoration period shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and where possible, materials.	RS
(18) Replacement of missing features from the restoration period shall be substantiated by documentary and physical evidence. A false sense of history shall not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.	RS
(19) Designs that were never executed historically shall not be constructed.	RS RC
(20) Reconstruction shall be used to depict vanished or nonsurviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal	RC

<p>conjecture, and such reconstruction is essential to the public understanding of the property.</p>	
<p>(21) Reconstruction of a landscape, building, structure, or object in its historic location shall be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures shall be undertaken.</p>	RC
<p>(22) Reconstruction shall include measures to preserve any remaining historic materials, features, and spatial relationships.</p>	RC
<p>(23) Reconstruction shall be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property shall re-create the appearance of the nonsurviving historic property</p>	RC

in materials, design, color, and texture.	
(24) A reconstruction shall be clearly identified as a contemporary re-creation.	RC

[Ord. 671 § 3.8.G, 1995.]

#### **15.50.075 Demolition.**

No structure located within the Historic Preservation District shall be demolished unless a certificate of authorization or exemption has been approved pursuant to the requirements of Chapter [15.112](#) LCMC. [Ord. 720 § 3, 1998.]

### **Article II. Criteria for Design Review of New Construction, Preservation, Rehabilitation, Restoration or Reconstruction Within the Historic Preservation District**

#### **15.50.080 General requirements.**

(1) Applicants shall conform to the principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties, including guidelines for preservation, rehabilitation, restoration and reconstruction.

(2) The design shall respect and preserve the important features and qualities of the La Conner Historic Preservation District as outlined in the Design Evaluation Checklist in LCMC [15.50.170](#). The proposal shall relate to, and not diminish any physical or visual aspect of the site, neighborhood, and community.

(3) Exception. Cases where reconstruction work is proposed for a building of a distinct style, but which is different from that which was typical of the "historic period." In these cases the appropriate design choice should be to respect the distinct style which is significant in its own right and seek to retain the building's particular architectural character, especially in terms of unique form, scale, proportion, rhythm, modelling and massing.

(4) In those instances not covered by the criteria outlined in this code, the Secretary of Interior's standards apply. [Ord. 671 § 3.8.H.1, 1995.]

#### **15.50.090 Building exterior.**

(1) Masonry – Brick, Stone, Terra-Cotta, Concrete, Adobe, Stucco, Mortar. Masonry features may include walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns, joint unit and size, tooling and bonding patterns, coatings, and color.

(a) Masonry features should be identified, retained, preserved and protected using approved methods and techniques generally recognized for historic structures.

(b) Deteriorated mortar should be replaced with mortar which duplicates the strength, composition, color, and texture of the old mortar. Old mortar joints should be duplicated in width and in joint profile.

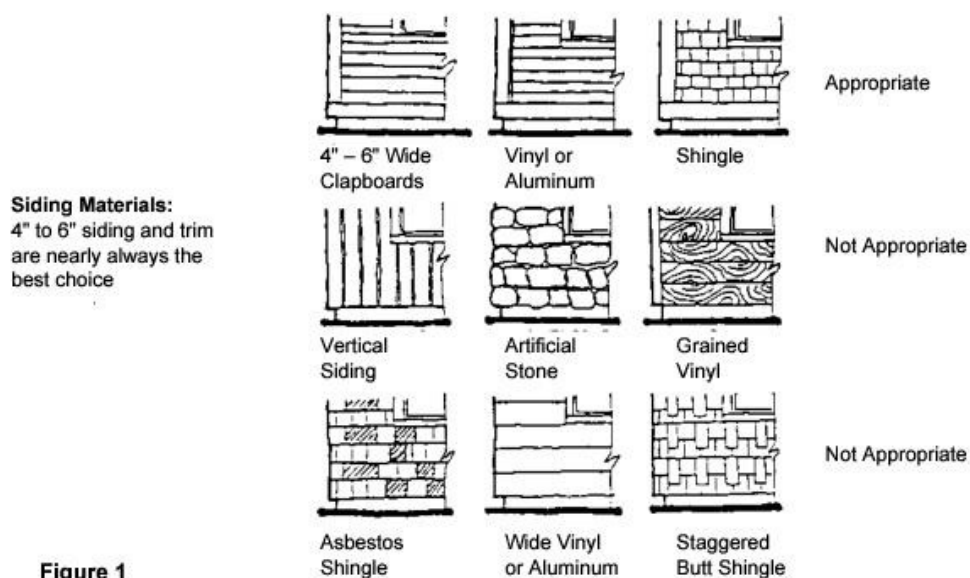
(2) Wood – Clapboard, Weatherboard, Shingles, Siding, Decorative Elements. Wood features may also include cornices, brackets, window architraves, and door-way pediments, and their paints, finishes, and colors.

(a) Wood features should be identified, retained, preserved, protected and maintained using approved methods and techniques generally recognized for historic structures.

(b) Repair may include limited replacement in kind – or with compatible substitute materials – of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, moldings, or sections of siding. Features of the existing structure should guide the new work.

(c) Horizontal wood siding in four-to-six-inch shiplap or clapboard is preferred. ~~Avoid~~ vertical or wide horizontal siding shall not be used.

(d) ~~Avoid~~ ppanelized siding, batten siding, and artificial stone shall not be used. Wainscot is to be used only in keeping with historic architectural character of the structure.



**Figure 1**

(3) Architectural Metals – Cast Iron, Steel, Pressed Tin, Copper, Aluminum, and Zinc. Features may include columns, capitals, window hoods, or stairways that are important in defining the overall historic character of the building, and their finishes and colors.

(a) Metal features should be identified, retained, preserved, protected and maintained using approved methods and techniques generally recognized for historic structures.

(b) Architectural metal features may be repaired by patching, splicing, or otherwise reinforcing the metal following recognized preservation methods. Repairs may also include limited replacement in kind – or with a compatible substitute material – of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balusters, column capitals, or bases, or porch cresting.

(4) Drainage. To prevent damage to structures, proper drainage should be provided so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.

(5) Design for Missing Historic Features. An accurate restoration of missing features may be accomplished using historic, pictorial, and physical documentation or by developing a new design that is compatible with the size, scale, material, and color of the historic building.

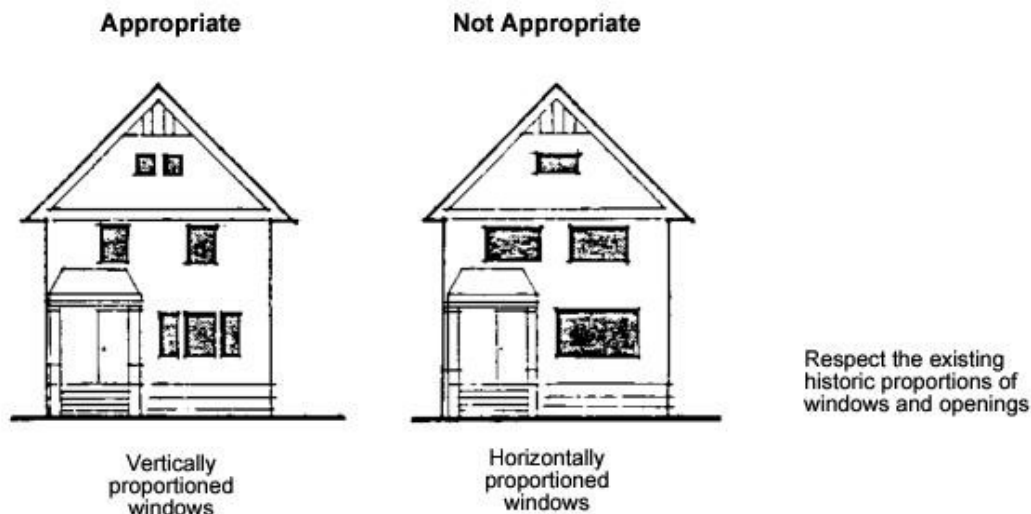
(6) Windows and Trim.

(a) Windows and their functional and decorative features should be identified, retained, preserved, protected and maintained using generally accepted techniques for historic structures. Features may include frames, sash, muntins, glazing, sills, heads, hoodmolds, panelled or decorated jambs and moldings, and interior and exterior shutters and blinds.

(b) Windows should have a vertical orientation, be in proportion to the structure, and have trim that accents the openings. Horizontal orientations, out-of-proportion windows and punched openings devoid of accent trim should be avoided.

(c) Commercial storefronts should have extensive glass to avoid large areas of solid walls on street fronts. At least 50 percent of front facades facing South First Street shall be glazed.





**Figure 2**

**(7) Roofs, Canopies, and Awnings.**

(a) Roofs and their functional and decorative features should be identified, retained, preserved, protected and maintained using generally recognized techniques for historic structures.

Features may include the roof shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting, chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

(b) Shingles are the preferred exposed roofing materials. Metal roofs that reflect the historical period in color and pattern are acceptable.

(c) Roofs should be pitched with a minimum slope of 6:12 vertical to horizontal ratio and a maximum of 12:12.

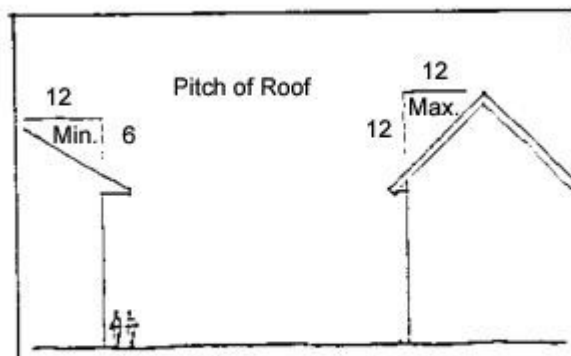
(d) Roofs on residential structures and on all structures in the Morris Street Commercial District shall meet the requirements of LCMC [15.50.090](#) (7)(c). Flat roofs should be avoided except when disguised by architectural or pitched roof features.

(e) Low pitched or sheet assembly roofs on commercial structures exposed to a street front should be hidden from view by constructing a false storefront design or parapet.

(f) Commercial structures should avoid elements on roofs that detract from the skyline view or are not part of an approved architectural design.

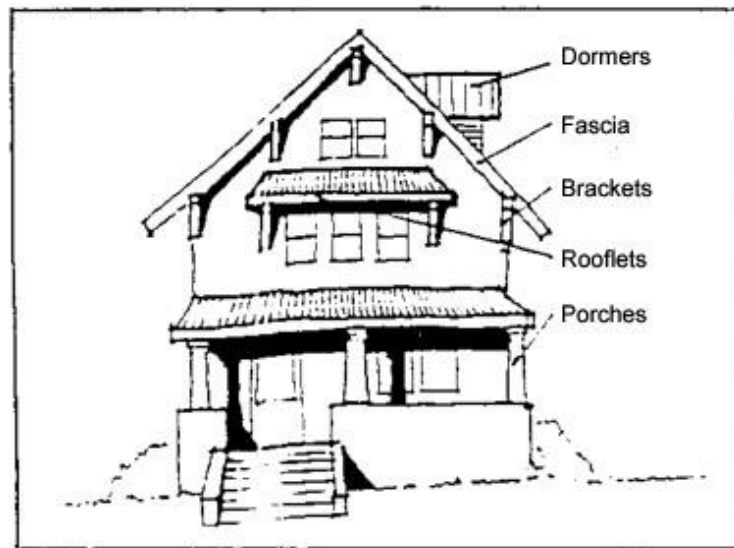
(g) Canopies and awnings should be in keeping with the historical period and shall not extend over public property greater than two-thirds of the distance from the property line to the nearest curb in front of the building site.

(h) Sky-lights and frames should be constructed of noncombustible materials and installed in an inconspicuous location on a noncharacter-defining roof.



**Figure 3**

**Appropriately scaled  
secondary roof elements.**



**Figure 4**

**Skylights  
should be  
inconspicuous.**



**Figure 5**

#### **(8) Entrances and Porches.**

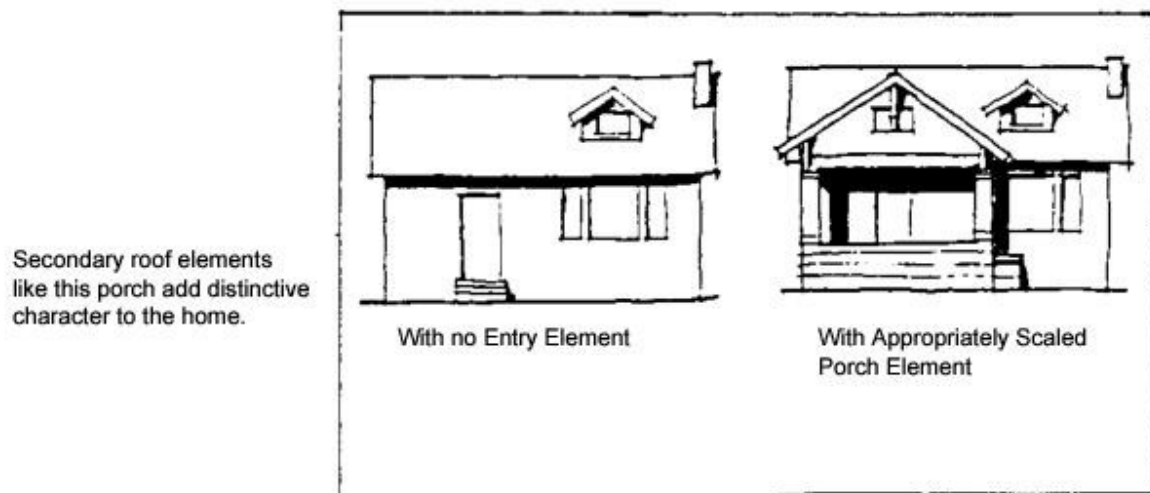
(a) Entrances and their functional decorative features should be identified, retained, preserved, protected and maintained using generally accepted techniques for historic structures. Features that are important in defining the overall historic character of the building may include doors, fanlights, sidelights, pilasters, entablatures, columns, balustrades, and stairs.

(b) Front or street elevations shall be in character with the historic period, including fenestration, ornamentation, surfaces and accessories. Improvements that enhance or preserve elements of the district are encouraged.

(c) Commercial storefront design should respect the scale, proportion and detail of the existing streetscape.

(d) Residential front entries should be evident from the street and contain elements, i.e., porches, columns, front steps, handrails, landscape that provides strength to the architectural character. The front door, storm door and side lights should be a panelized design. Avoid flush modern doors, bright aluminum storm doors, and wrought iron railings or handrails.

(e) Avoid changing existing residential front elevations or front entries that have historic character.



**Figure 6**

Porches should be made out of substantial materials, such as built-up columns and wooden balustrades. The use of pre-fabricated metal railings is not recommended.

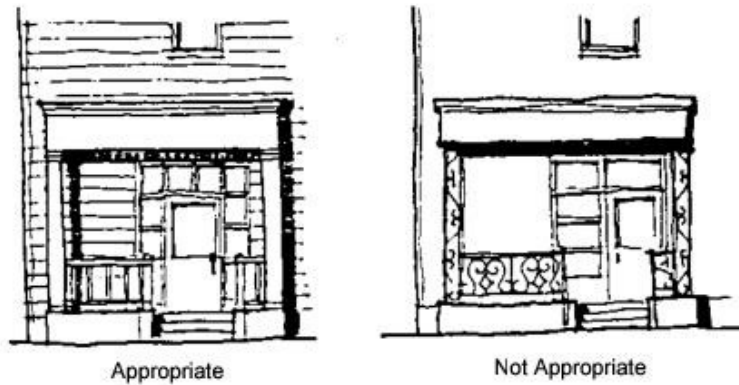


Figure 7

Doors with raised panels add charm and character to historic homes.



Avoid modern doors for the front of the house. These tend not to be in keeping with the character of historic homes.

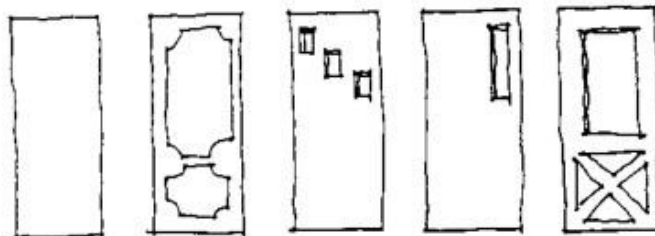


Figure 8

#### (9) Storefronts.

(a) There shall be a storefront and entrance for every 25 running feet of building frontage on First Street. Maximum storefront width shall be 25 feet.

(b) Storefronts and their functional and decorative features should be identified, retained, preserved, protected, and maintained using generally acceptable techniques for historic structures. Features may include display windows, signs, doors, transoms, kick plates, corner posts, and entablature.

(c) Protect storefronts against arson and vandalism during the restoration process by boarding up windows and installing alarm systems if necessary.

#### (10) Ornamentation.

- (a) Ornamentation shall be in keeping with the historic period of the building.
- (b) Large wall areas of structures with street frontage devoid of ornamentation should be avoided.



Figure 9

(11) Materials.

- (a) Natural or historic materials typical of the district are preferred.
- (b) Synthetic or composite materials are acceptable when they replicate natural or historic materials. Samples that fully display color, texture, and assembly must be approved by the planning commission or designee prior to construction.
- (c) Installations or assemblies that diminish or are devoid of historic trim and detailing are to be avoided.

(12) Paint and Color. Applications for projects that only involve paint shall be considered under a Type II review, provided that no changes other than paint or color are involved, provided that the paint is selected from the pallets? colors below? Colors should be selected from those that were considered appropriate at the time the structure was designed and built, those colors — whatever they may be should be applied to the structure to enhance the design in the manner intended by the original designer, builder, and owners. [Ord. 755 §§ 6 – 10, 1999; Ord. 671 § 3.8.H.2, 1995.] **COLOR TBD FOLLOWING CONVERSATION WITH PC.**

**15.50.100 Building interior – Applicable to structures on state or national historic registers only.**

(1) Structural System.

- (a) The structural systems and individual features of systems should be identified, retained, preserved, protected and maintained using generally accepted techniques for historic structures. Structural systems may include post and beam systems, trusses, summer beams,

vigas, cast iron columns, above-grade stone foundation walls, or loadbearing brick or stone walls.

- (b) Any new excavations adjacent to historic foundations should be limited to avoid undermining the structural stability of the building or adjacent historic buildings.
- (c) Correct structural deficiencies in preparation for a new use in a manner that preserves the structural system and individual character-defining features.
- (d) Design and install new mechanical or electrical systems when required for the new use which minimize the number of cutouts or holes in structural members.
- (e) Add a new floor when required for the new use if such an alteration does not damage or destroy the structural system or obscure, damage, or destroy character-defining spaces, features, or finishes.
- (f) An atrium or light well may be created to provide natural light in a manner that assures the preservation of the structural system as well as character-defining interior spaces, features, and finishes.

## (2) Spaces, Features, and Finishes.

- (a) A floor plan or interior spaces that are important in defining the overall historic character of the building should be identified, retained, preserved, protected and maintained using generally acceptable techniques for historic structures. This includes the size, configuration, proportion, and relationship of rooms and corridors; the relationship of features to spaces; and the spaces themselves such as lobbies, reception halls, entrance halls, double parlors, and important industrial or commercial use spaces.
- (b) Changing interior features and finishes that contribute to the historical significance of the structure should be avoided. Features may include columns, cornices, baseboards, fireplaces and mantles, paneling, light fixtures, hardware, and flooring; and wallpaper, plaster, paint, and finishes such as stenciling, marbling, and graining; and other decorative materials that accent interior features and provide color, texture, and patterning to walls, floors and ceilings.
- (c) Alterations or additions for new use should accommodate service functions such as bathrooms or mechanical equipment in secondary spaces such as first floor service areas; reusing decorative material or features; installing permanent partitions in secondary spaces; enclosing interior stairways as required by building codes so that the character is retained or constructing stairways or elevators in secondary spaces.

(d) Mechanical Systems. Heating, air conditioning, electrical, and plumbing should be installed to minimize alterations to the building floor plan, exterior elevations and damage to historic building material. [Ord. 671 § 3.8.H.3, 1995.]

#### **15.50.110 Building site.**

(1) Building site features should be identified, retained, preserved, protected and maintained following generally accepted techniques for historic structures. Site features can include driveways, walkways, lighting, fencing, signs, benches, fountains, terraces, plants and trees, berms, and drainage.

(2) Any required landscape/open space shall be used to preserve or enhance significant natural features, landscape features, views of the Swinomish Channel and Skagit Valley, pedestrian enhancements and shoreline access areas.

(3) The historic relationship between buildings, landscape features, and open space should be retained.

(4) In all HPD areas:

(a) Lanterns, post lights, and other significant improvements should respect the historic period. Bright night lighting and strong, unshielded light sources shall be avoided. Outdoor lights shall be shielded on all sides and orientated towards the ground.

(b) Chain link fencing shall be prohibited.

(c) In commercial areas landscaping and trees shall be provided along the street frontage where possible. Amenities may take the form of seating, raised flower beds, containers or hanging baskets, lighting fixtures, paving materials, decks, and pocket parks.

(d) Obstructions to pedestrian movement shall be minimized. [Ord. 755 § 11, 1999; Ord. 671 § 3.8.H.4, 1995.]

#### **15.50.120 District/neighborhood.**

(1) Significant buildings, streetscapes, view corridors, and landscape features shall be identified, retained, preserved, protected and maintained. Features can include streets, alleys, paving, walkways, street lights, signs, benches, parks, gardens, and trees.

(2) Morris Street Commercial District. The residential scale and proportions historically found on this street shall be maintained. Buildings were generally constructed as homes on 50-foot by 100-foot lots, with residential setbacks from all property lines. Buildings are small to medium size, although generally appear taller due to peak roofs. Examples of typical details are front porches, peaked roofs and gables; front facades are generally 25 feet in width before steeping



back to a cross gable. Buildings do not generally cover the entire lot on which they sit, nor are they built property line to property line. Building setbacks and lot coverage within the Morris Street Commercial District shall be as follows:

(a) Minimum front yard – five feet. This minimum may be increased to reduce the impact of new structures on adjoining historic structures.

(b) Minimum side yard – five feet, sum of both side yards must be 15 feet.

(c) Minimum rear yard – 25 feet.

(d) Maximum allowable floor area ratio – 60 percent.

(e) Maximum lot size shall be 10,000 square feet.

(3) First Street Commercial District. The compact fabric and consistent rhythm created by the incremental construction of small to medium size buildings on the originally platted 25-foot by 100-foot lots shall be maintained. Typical details include one-story gable roof structures, false fronts, cornices and multi-paned windows.

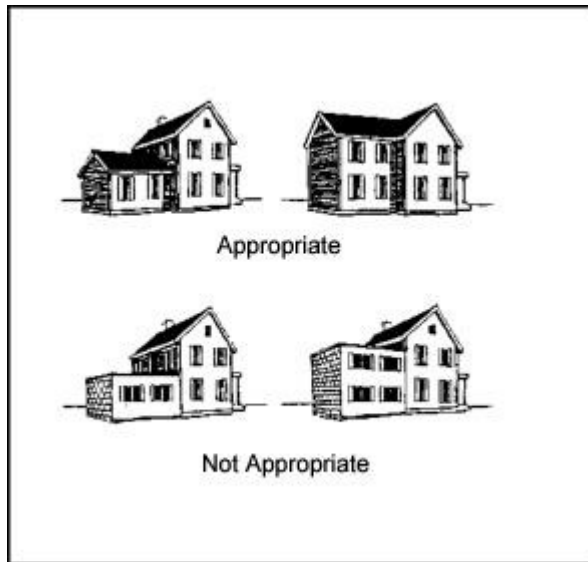
(a) Buildings, storefronts, entrances, and variations in height, modulation, color, and building material should occur at 25-foot intervals.

(b) Buildings over 3,000 square feet gross floor area shall be designed to have the appearance of multiple buildings typically found in the district, including separate entrances, storefronts, and variation in height.

(c) On the upland side of First Street, minimum rear yard setback: 10 feet. On the waterfront side of First Street, rear yard access must be approved by the fire chief for fire safety. The decision of the fire chief is not appealable.

(d) The side yard setback may be zero clearance consistent with the setbacks of adjoining properties; provided, that the materials, access and applications are approved by the fire chief.

(e) Landscaping, at maturity, within a view corridor shall not exceed four feet in height.



**Figure 10**

[Ord. 1222 § 2, 2023; Ord. 1122 § 1, 2014; Ord. 899 § 1, 2003; Ord. 755 § 12, 1999; Ord. 671 § 3.8.H.5, 1995.]

#### **15.50.130 Health and safety code requirements.**

(1) When modifications are necessary for historic buildings to comply with current health, safety and building code requirements, the work should be done in such a manner that character-defining spaces, features, and finishes are preserved.

(2) Where removing architectural barriers or providing accessibility would threaten or destroy the historic significance of a building or facility, special provisions as outlined in the International Building Code would apply. [Ord. 963 § 6, 2005; Ord. 671 § 3.8.H.6, 1995.]

#### **15.50.140 Energy retrofitting.**

Energy retrofitting measures should be accomplished in such a way as to ensure that the building's historic character is preserved. [Ord. 671 § 3.8.H.7, 1995.]

#### **15.50.150 New additions to historic buildings.\***

(1) Building alterations or additions for new uses shall be compatible with the historic character of the district or neighborhood in terms of size, scale, design, material, color, texture, and view corridors.

(2) Additions should compliment the architectural character of the existing building in material and detail.

(3) An addition should be differentiated from the historic building so that the new work is not confused with what is genuinely part of the past.

(4) Additional stories or elements that heighten the structure should meet the standards herein and be compatible with the building and/or neighborhood.

(5) Second floor additions to existing commercial buildings on First Street shall be set back a minimum of 10 feet from the existing storefront building line so that the scale of the present streetscape is maintained.

(6) Residential additions shall be set back a minimum of five feet from the existing building line(s) or placed in the rear of the building.

(7) The total gross floor area of an addition shall be no larger than 75 percent of the total gross floor area of the original building so that it can be distinguished as a secondary structure. The addition should be recessed to mitigate the impact on the appearance of the original structure.

(8) New additions shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment are unimpaired. [Ord. 755 § 13, 1999; Ord. 671 § 3.8.H.8, 1995.]

\*See Figure 10, LCMC [15.50.120](#).

#### **15.50.160 Accessory structures.\***

(1) Accessory or infill structures and garages should be integrated with the architectural character of the main building.

(2) Residential garages should be set back and not overshadow the main structure.

(3) Garages and accessory structures shall be located to the side or rear of the principal building on the site.

(4) Exposed storage areas and accessory devices (e.g., rain barrel, garbage containers) shall be enclosed, screened or concealed so as not to detract from historic structures.

(5) Structures along waterways and docks should respect the historical period of the district, including all attachments or accessories. [Ord. 1139 § 3, 2016; Ord. 755 § 14, 1999; Ord. 671 § 3.8.H.9, 1995.]

\*See Figure 10, LCMC [15.50.120](#).

#### **15.50.170 Design evaluation checklist.**

#### **Historic Preservation District Design Criteria Review Checklist**

Applicant File No.

Address

Project

Project Location

This checklist is to be used in conjunction with Chapter [15.50](#) LCMC, Historic Preservation District. Check the appropriate box below.

	<b>Design Criteria</b>	<b>Project Includes</b>	<b>Meets Code</b>	<b>Approved</b>	<b>Not Approved</b>
1.	General				
	Exception				
2.	Building exterior				
	Masonry				
	Wood				
	Architectural metals				
	Drainage				
	Design – Missing features				
	Windows and trim				
	Roofs, canopies, awnings				
	Entrances and porches				
	Storefront				
	Ornamentation				
	Materials				

	<b>Design Criteria</b>	<b>Project Includes</b>	<b>Meets Code</b>	<b>Approved</b>	<b>Not Approved</b>
	Paint and color				
3.	Building interior				
	Structural system				
	Spaces, features, finishes				
4.	Building site				
	Site features				
	Landscape				
	Critical area				
5.	District/neighborhood				
	Setbacks				
	Size and scale				
6.	Health/safety code				
7.	Energy retrofitting				
8.	New addition – HPD building				
9.	Accessory structure				

Applicant Signature/Date

Reasons Not Approved:

Planning Director/Date    Planning Commission Chair/Date

[Ord. 671 § 3.8.H.10, 1995.]

**15.50.180 Commercial building scale.**

The intent of this section is to ensure that commercial buildings are based on a human scale, and to ensure that large buildings reduce their apparent mass and achieve an architectural scale consistent with historic scale, forms, and proportions of buildings in the Historic Preservation District.

(1) Facade Modulation. Building facades over 25 feet in length visible from public streets or waterways and public spaces shall be stepped back or projected forward at intervals. The minimum depth of modulation should be one foot and the minimum width shall be five feet.

(a) Walls along street frontage shall be modulated every 25 feet, using changes in materials, projecting and recessing bays, fenestration, variation of building height or roof form, and other architectural details such as columns.

(b) Walls over 25 feet in length and 15 feet in height shall have, at a minimum, a 12-foot variation in building height or a 10-foot second story setback and a change of materials for each 30 feet of length.

(c) On each wall there shall be a minimum of one 150-square foot (footprint) recess or projection for every 50 running feet of wall length.

(2) Use of modulation and articulation should not be repetitive or cookie-cutter. The design should replicate the scale, forms, and features of the district.

(3) Articulation. Buildings shall be articulated to reduce the apparent scale of the buildings. Architectural details that are used to articulate the structure may include reveals, and other three-dimensional details that created shadow lines and break up the flat recesses of the facade. The following are ways which may achieve suitable building articulation:

(a) Tripartite Articulation. Provide tripartite building articulation (building top, middle and base) to provide pedestrian scale and architectural interest.

(b) Window Treatments. Provide ample articulated window treatments in facades visible from streets and public spaces for architectural interest and human scale.

(c) Architectural Elements. The mass of long or large scale buildings should be made more visually interesting by incorporating architectural elements such as arcades, balconies, bay windows, dormers, and/or columns.

(d) Rooflines. A distinctive roofline can reduce perceived building heights and mass, increase compatibility with small scale and/or residential development, and add interest to the overall design of the building in the following ways:

(i) Change the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.

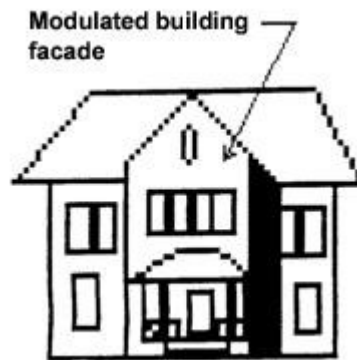
(ii) Roof designs that incorporate a variety of vertical dimensions such as multi-paned and intersecting rooflines are encouraged.

(iii) Flat-roofed designs, where permitted, shall include architectural details such as cornices and decorative facing to provide interest to the roofline.

(e) Materials. Where there is a change in the building plane, the building materials, colors, and patterns should change.

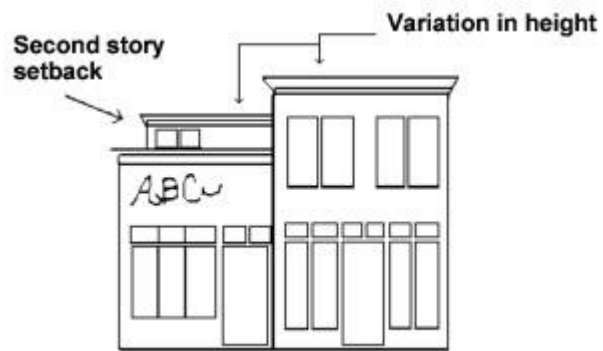
(f) Landscaping. Provide a trellis, tree or other landscape feature within each interval.

(g) Upper Story Setback. Set back upper stories which helps to reduce the apparent bulk of the



building and promotes a human scale.

**Figure 11. Facade Modulation. Building scale criteria 1.**



**Figure 12. Building scale criteria 1, 4(d) and 4(g).**

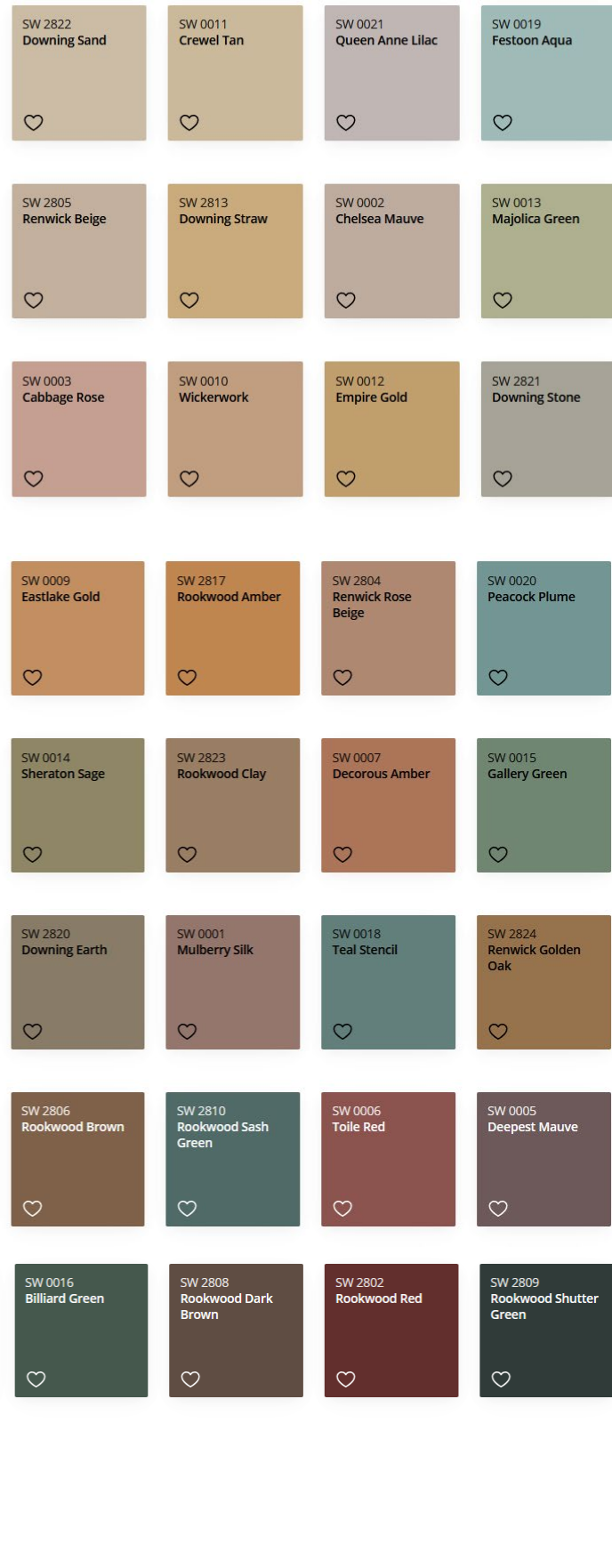




Calico SW 0017

## Victorian (1830s-1910s)

In an era marked by opulence, ornate detail and contrasts, palettes featured rich, saturated colors often from opposite sides of the color wheel.



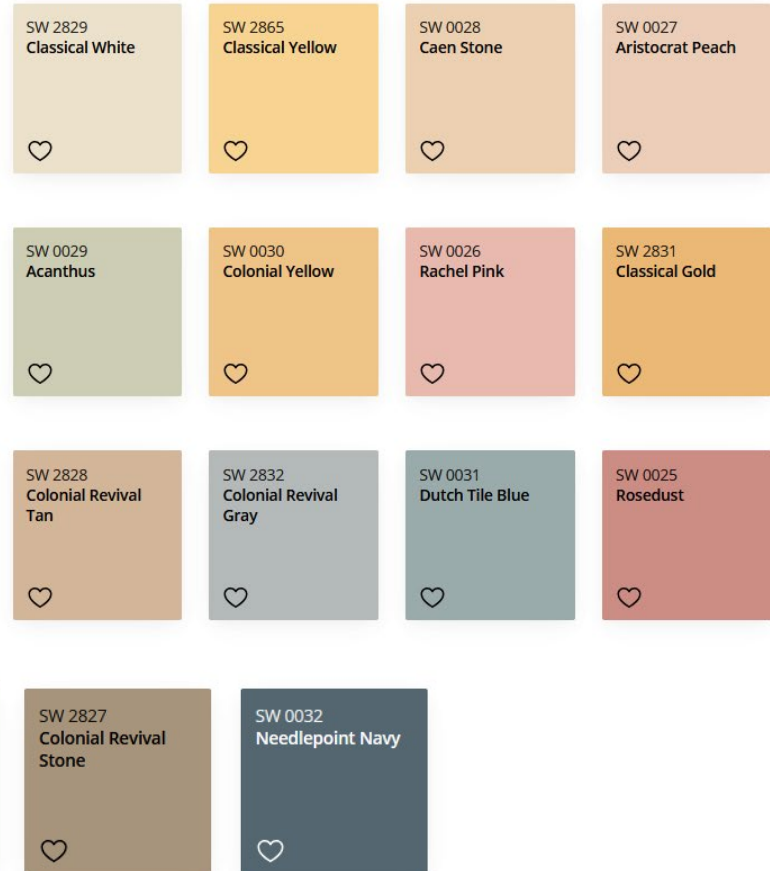
## Appendix B – Sherwin Williams Colonial Revival (1870s-1900s)



 Dutch Tile Blue SW 0031

### Colonial Revival (1870s-1900s)

Mixing paler colors with lush ones, this era reflects a return to design inspired by ancient Greece, as well as a renewed interest in America's own past.



## Appendix C – Sherwin Williams Arts and Crafts (1880s-1910s)



### Arts & Crafts (1880s-1910s)

Celebrating honest craftsmanship, simplicity and nature, this movement featured the natural hues of building materials and the blues and greens of handmade ceramics.

Library Pewter SW 0038

SW 0046 White Hyacinth	SW 0035 Warm Beige	SW 2833 Roycroft Vellum	SW 2834 Birdseye Maple
SW 0036 Buckram Binding	SW 0044 Hubbard Squash	SW 2844 Roycroft Mist Gray	SW 0037 Morris Room Grey
SW 0042 Ruskin Room Green	SW 0039 Mellow Mauve	SW 0034 Roycroft Rose	SW 2835 Craftsman Brown
SW 2842 Roycroft Suede	SW 0043 Peristyle Brass	SW 2845 Bunglehouse Gray	SW 2840 Hammered Silver
SW 0040 Roycroft Adobe	SW 0045 Antiquarian Brown <i>Expert Pick</i>	SW 2836 Quartersawn Oak	SW 2843 Roycroft Brass
SW 2846 Roycroft Bronze Green <i>Mar. 2024 Color of the Month</i>	SW 2837 Aurora Brown	SW 2839 Roycroft Copper Red <i>Expert Pick</i>	SW 0041 Dard Hunter Green
			SW 2847 Roycroft Bottle Green
			SW 2838 Polished Mahogany <i>Expert Pick</i>
			SW 0038 Library Pewter
			SW 0047 Studio Blue Green
			SW 0048 Bunglehouse Blue
			SW 0033 Rembrandt Ruby
			SW 2848 Roycroft Pewter
			SW 2841 Weathered Shingle
			SW 2844 Roycroft Mist Gray
			SW 0034 Roycroft Rose
			SW 0039 Mellow Mauve
			SW 0042 Ruskin Room Green
			SW 0044 Hubbard Squash
			SW 0036 Buckram Binding
			SW 0046 White Hyacinth

## Changes to Zoning Code: Unit Lot Subdivisions

### Addition: Article III. Unit Lot Subdivisions

#### 15.30.300 Purpose

The purpose of these provisions is to allow for the more flexible creation of lots of varying sizes and types, while applying only those site development standards applicable to the parent site as a whole, rather than to unit lots resulting from the subdivision. This section is not intended to permit uses or densities that are not otherwise allowed in the land use designations in which a unit lot subdivision is proposed.

#### 15.30.305 Definitions

In construing LCMC 15.30 Article III, except when otherwise plainly declared or clearly apparent from context, the following definitions shall be applied:

- (1) "Parent lot" means a lot which is subdivided into unit lots through the unit lot subdivision process;
- (2) "Unit lot" means a lot created from a parent lot and approved through the unit lot subdivision process.
- (3) "Unit lot subdivision" means the division of a parent lot into two or more unit lots within a development and approved through the unit lot subdivision process.

#### 15.30.310 Applicability

The provisions of this section apply to the division of land for multi-household dwellings, including townhouses and duplexes, provided that none of the multi-household dwellings are stacked on another dwelling unit or other use, and provided that the dwellings are in the same parent lot, and to the division of land for multi-single-household detached residences, and multiple multihousehold dwellings, including duplexes and townhomes, provided that none of the multi-household dwellings are stacked on another dwelling unit or other use, the multi-single household detached residences and multiple multihousehold dwelling units are permitted under LCMC 15.20.055, and the dwellings are in the same parent lot.

#### 15.30.315 Process

Unit lot subdivisions for four or fewer lots shall follow the application for short subdivisions. Unit lot subdivisions for five or more lots shall be processed as a subdivision. The following provisions apply to unit lot subdivisions:

- (1) Development on individual unit lots within the unit lot subdivision need not conform to the minimum lot area, minimum density, or dimensional requirements; provided, however, that any structure located upon a unit lot shall comply with the maximum

building height requirements. The overall development of the parent lot shall meet the development and design standards of the underlying land use district.

- (2) Subsequent platting actions and additions or modifications to structure(s) may not create or increase any nonconformity of the parent lot;
- (3) Access easements, joint use and maintenance agreements, and covenants, conditions and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; bike parking; solid waste collection areas; underground utilities; common open space; shared interior walls; exterior building facades and roofs; and other similar features shall be recorded with the county auditor;
- (4) Portions of the parent lot not subdivided for individual unit lots shall be owned in common by the owners of the individual unit lots, or by a homeowners' association comprised of the owners of the individual unit lots;
- (5) Parking shall be calculated and designed for each lot in compliance with LCMC Chapter 15.90, although parking required for a dwelling may be provided on a different lot or tract within the parent lot as long as the right to use that parking is formalized by an easement declared on the plat;
- (6) Each unit lot shall have individual sewer service, water service, and a power meter specific to that unit;
- (7) All residential structures that are within 10 feet of a property line or another residential structure shall have an automatic fire sprinkler system installed;
- (8) La Conner Fire Chief must approve roof access for all structures;
- (9) Unit lots must have separate addresses, assigned at the time of the subdivision process in accordance with the local addressing authority.

#### 15.30.320 Recording Requirements

Notes shall be placed on the face of the plat or short plat as recorded with the county auditor to state the following:

- (1) The title of the plat shall include the phrase "Unit Lot Subdivision."
- (2) Approval of the development on each unit lot was granted by the review of the development, as a whole, on the parent lot.
- (3) The individual unit lots are not separate buildable sites. Additional development of the individual unit lots may be limited as a result of the application of development standards to the parent lot.
- (4) Subsequent platting actions, additions, or modifications to any buildings may not create a nonconformity of the parent lot.